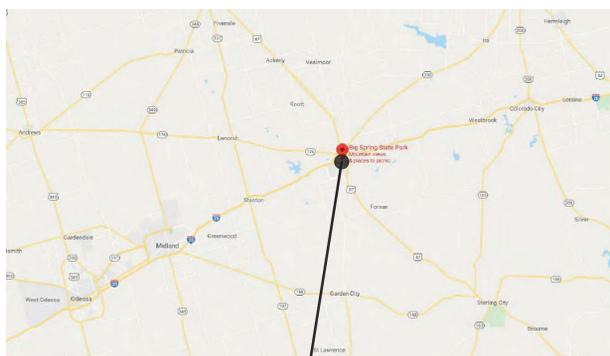


HOWARD COUNTY

COUNTY LOCATION MAP
NOT TO SCALE

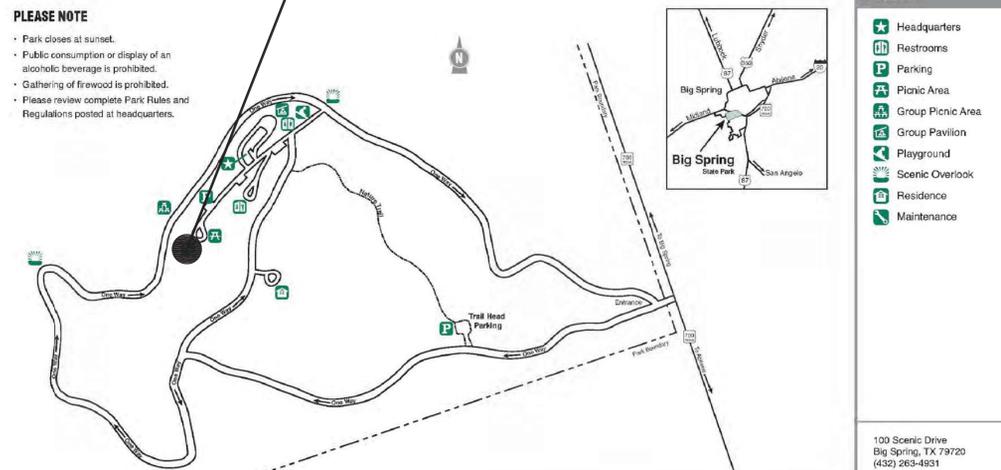


PROJECT SITE

VICINITY MAP
NOT TO SCALE



PLEASE NOTE
 • Park closes at sunset.
 • Public consumption or display of an alcoholic beverage is prohibited.
 • Gathering of firewood is prohibited.
 • Please review complete Park Rules and Regulations posted at headquarters.



- LEGEND**
- ★ Headquarters
 - 🚻 Restrooms
 - P Parking
 - 🌳 Picnic Area
 - 🏠 Group Picnic Area
 - 🏠 Group Pavilion
 - 🎡 Playground
 - 👁️ Scenic Overlook
 - 🏠 Residence
 - 🔧 Maintenance

103 Scenic Drive
Big Spring, TX 79720
(432) 263-4831

SITE LOCATION MAP
NOT TO SCALE



TPWD TEAM

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 tony.bettis@tpwd.texas.gov

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PROJECT
BIG SPRING STATE PARK
MAINTENANCE SHOP ROOF REPLACEMENT

PROJECT NO: MR10418

DATE: DEC. 9, 2019

INDEX OF DRAWINGS

| SHEET NO. | DESCRIPTION |
|-----------|---|
| - | COVER SHEET |
| A0 | ABBREVIATIONS, NOTES AND SUBMITTALS |
| A1 | DEMOLITION ROOF PLAN & PHOTOS |
| A2 | PROPOSED ROOF PLAN AND DETAILS |
| A3 | PROPOSED FLOOR PLAN, ELEVATIONS AND DETAILS |
| A4 | WALL SECTIONS |
| A5 | DETAILS |
| A6 | FRAMING DETAILS |

BUILDING CODE SUMMARY

- A. INTERNATIONAL CODE COUNCIL ADOPTIONS*
1. BUILDING CODE INTERNATIONAL BUILDING CODE 2015
 2. STRUCTURAL CODE INTERNATIONAL BUILDING CODE 2015
 3. PLUMBING CODE INTERNATIONAL PLUMBING CODE 2015
 4. MECHANICAL CODE INTERNATIONAL MECHANICAL CODE 2015
 5. GAS CODE INTERNATIONAL FUEL GAS CODE 2015
 6. RESIDENTIAL CODE INTERNATIONAL RESIDENTIAL CODE 2015
 7. EXISTING BUILDINGS INTERNATIONAL EXISTING BUILDINGS CODE 2015
- * International Fire Code omitted in lieu of TPWD's implementation of National Fire Protection Association codes. International Energy Conservation Code 2015 omitted in lieu of Energy Standard for Buildings, ASHRAE/IESNA Standard 90.1 (2013).
- B. NATIONAL FIRE PROTECTION ASSOCIATION
1. ELECTRIC CODE NATIONAL ELECTRICAL CODE NFPA-70 2017
 2. FIRE CODE NFPA - 1 2015
 3. LIFE SAFETY CODE NFPA - 101 2015
- C. STATE ENERGY CONSERVATION OFFICE (SECO)/TEXAS COMPTROLLERS OFFICE
1. ENERGY CODES FOR STATE BUILDINGS - See Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C
 2. COMPLIANCE WITH THE ENERGY CONSERVATION DESIGN STANDARD OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS (ASHRAE) /ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA), ENERGY STANDARD FOR BUILDINGS, ASHRAE/IESNA STANDARD 90.1 (2013)
See SECO website for State Funded Buildings, New Construction and Major Renovation Requirements and SECO Compliance Certification Forms
 3. WATER CONSERVATION STANDARDS FOR STATE BUILDINGS - Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C
 4. COMPLIANCE WITH THE WATER CONSERVATION DESIGN STANDARDS FOR STATE BUILDINGS AND INSTITUTIONS OF HIGHER EDUCATION FACILITIES, STATE ENERGY CONSERVATION OFFICE (SECO), 2016
See SECO website for Texas Water Conservation Design Standards, Requirements and SECO Compliance Certification / Reporting Form
- D. ACCESSIBILITY CODES
1. US DEPT. OF JUSTICE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
 2. ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, OUTDOOR DEVELOPED AREAS, NOVEMBER 25, 2013
 3. 2012 TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT CODE, CHAPTER 469
- E. PLAYGROUND SAFETY CODE
1. ASTM F1487-17, STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATIONS FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE
 2. ASTM F2223-15, STANDARD GUIDE FOR ASTM STANDARDS ON PLAYGROUND SURFACING



TEXAS PARKS AND WILDLIFE
INFRASTRUCTURE DIVISION

4200 SMITH SCHOOL ROAD · AUSTIN, TEXAS 78744-3292



RELEASED FOR SOLICITATION

Tom Bettis
 PROJECT MANAGER, INFRASTRUCTURE DIVISION
 DATE: 5/20/2020

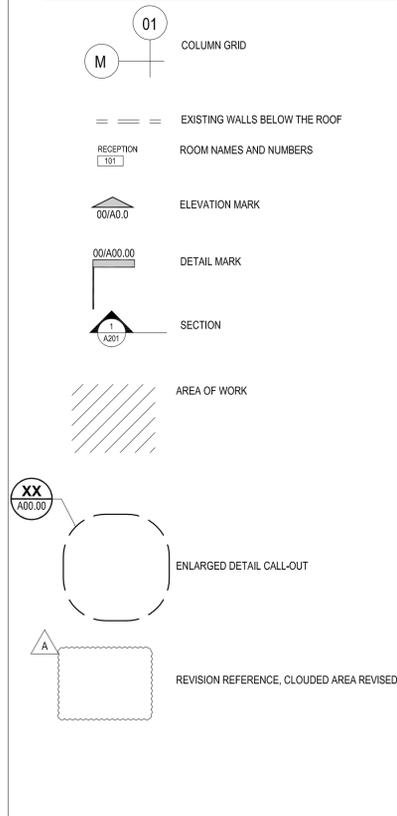
Christy Seals
 DESIGN BRANCH MANAGER, INFRASTRUCTURE DIVISION
 DATE: 5/27/20

PERCENTAGE: 100% CONSTRUCTION DOCUMENTS

ABBREVIATIONS

| | | | |
|--------|---|---------|--------------------------------|
| ACoust | ACOUSTICAL | LAM | LAMINATE |
| AFF | ABOVE FINISHED FLOOR | LAV | LAVATORY |
| ADD | ADDITION | LB | POUND |
| ADJ | ADJUSTABLE | LBL | LABEL |
| A/C | AIR CONDITIONING | LWT | LIGHTWEIGHT |
| ALT | ALTERNATE | | |
| ALUM | ALUMINUM | MACH | MACHINE |
| APPROX | APPROXIMATE | MAINT | MAINTENANCE |
| APPVD | APPROVED | MATL | MATERIAL |
| ARCH | ARCHITECT | MAX | MAXIMUM |
| AVE | AVENUE | MBR | MEMBER |
| | | MC | MEDICINE CABINET |
| BD | BOARD | MECH | MECHANICAL |
| BETW | BETWEEN | MEP | MECHANICAL/ELECTRICAL/PLUMBING |
| BLDG | BUILDING | MFR | MANUFACTURER |
| BLKG | BLOCKING | MGR | MANAGER |
| BM | BEAM OR BENCH MARK | MIN | MINIMUM |
| BOT | BOTTOM | MISC | MISCELLANEOUS |
| BRZ | BRONZE | MK | MARK |
| BSMT | BASEMENT | MLDG | MOULDING |
| | | MO | MASONRY OPENING |
| | | MSRY | MASONRY |
| C TO C | CENTER TO CENTER | MTD | MOUNTED |
| CAB | CABINET | MTL | METAL |
| CER | CERAMIC | MUL | MULLION |
| CJ | CONSTRUCTION JOINT/CONTROL JOINT | MW | MICROWAVE |
| CL | CENTER LINE | | |
| CLG | CEILING | NIC | NOT IN CONTRACT |
| CLR | CLEAR | NO | NUMBER |
| CLOS | CLOSET | NOM | NOMINAL |
| CMU | CONCRETE MASONRY UNIT | NTS | NOT TO SCALE |
| | | OA | OVERALL |
| CO | CLEANOUT | OC | ON CENTER |
| COL | COLUMN | OD | OUTSIDE DIAMETER |
| CONC | CONCRETE | OH | OPPOSITE HAND |
| CONSTR | CONSTRUCTION | OPNG | OPENING |
| CONT | CONTINUOUS | OPP | OPPOSITE |
| CONTD | CONTINUED | ORIG | ORIGINAL |
| CONTR | CONTRACTOR | OVHD | OVERHEAD |
| CONTR | CONTRACTING | OZ | OUNCE |
| | | | |
| CTR | CENTER | PART | PARTIAL |
| CW | COLD WATER | PART BD | PARTICLE BOARD |
| | | PL | PROPERTY LINE |
| DBL | DOUBLE | PLAM | PLASTIC LAMINATE |
| DET | DETAIL | PLMB | PLUMBING |
| DF | DRINKING FOUNTAIN | PLYWD | PLYWOOD |
| DIA | DIAMETER | PREFAB | PREFABRICATED |
| DIAG | DIAGONAL | PR | PAIR |
| DIM | DIMENSION | PROP | PROPERTY |
| DIV | DIVISION | PSI | POUNDS PER SQ IN |
| DEMO | DEMOLITION | PTD | PAINTED |
| DN | DOWN | | |
| DR | DOOR | RA | RETURN AIR |
| DS | DOWNSPOUT | RAD | RADIUS |
| DWG | DRAWING | RAG | RETURN AIR GRILL |
| DWR | DRAWER | RE | REFER |
| | | | |
| EA | EACH | REC | RECESSED |
| ELEV | ELEVATION | RECEPT | RECEPTACLE |
| ELEC | ELECTRICAL | RECT | RECTANGULAR |
| ENCL | ENCLOSURE | RELOC | RELOCATED |
| ENGR | ENGINEER | REQD | REQUIRED |
| EQ | EQUAL | REP | REPRESENTATIVE |
| EQUIP | EQUIPMENT | RESIL | RESILIENT |
| ETC | AND SO FORTH | REV | REVISION |
| EWC | ELECTRIC WATER COOLER | RH | RIGHT HAND |
| | | RM | ROOM |
| | | RND | ROUND |
| | | RO | ROUGH OPENING |
| | | RTN | RETURN |
| EXH | EXHAUST | | |
| EXTG | EXISTING | SC | SOLID CORE |
| EXP | EXPOSED | SCHED | SCHEDULE |
| EXT | EXTERIOR | SECT | SECTION |
| FD | FLOOR DRAIN | SEQ | SEQUENCE |
| FE | FIRE EXTINGUISHER | SF | SQUARE FEET |
| FEC | FIRE EXTINGUISHER CABINET | SGL | SINGLE |
| FED | FEDERAL | SH | SHEET |
| FF | FINISHED FLOOR | SIM | SIMILAR |
| FV | FIELD VERIFY | SPEC | SPECIFICATION |
| | | SO | SQUARE |
| FHC | FIRE HOSE CABINET | SS | STAINLESS STEEL |
| FL | FLOW LINE | STD | STANDARD |
| FLR | FLOOR | STL | STEEL |
| FPRF | FIREPROOF | STOR | STORAGE |
| FR | FRAME | STRUCT | STRUCTURAL |
| FTG | FOOTING | SURF | SURFACE |
| FURR | FURRING | SUSP | SUSPENDED |
| FW | FIRE WALL | | |
| FXTR | FIXTURE | TECH | TECHNICAL |
| | | TELE | TELEPHONE |
| GA | GAUGE | THK | THICK (NESS) |
| GALV | GALVANIZED | THRU | THROUGH |
| GEN | GENERAL | TYP | TYPICAL |
| GFE | GOVERNMENT FURNISHED EQUIPMENT | | |
| GFM | GOVERNMENT FURNISHED MATERIAL | UNFIN | UNFINISHED |
| | | UNO | UNLESS NOTED OTHERWISE |
| GL | GLASS | | |
| GOVT | GOVERNMENT | | |
| GRL | GRILLE | VENT | VENTILATE |
| GYP | GYP SUM | VERT | VERTICAL |
| GYP BD | GYP SUM BOARD | VCT | VINYL COMPOSITION TILE |
| GC | GENERAL CONTRACTOR | | |
| | | VET | VINYL ENHANCED TILE |
| HDWR | HARDWARE | VOL | VOLUME |
| HM | HOLLOW METAL | VWC | VINYL WALLCOVERING |
| HORIZ | HORIZONTAL | | |
| HT | HEIGHT | | |
| HTR | HEATER | WD | WOOD |
| HWD | HARDWOOD | WH | WATER HEATER |
| HVAC | HEATING, VENTILATING AND AIR CONDITIONING | WHSE | WAREHOUSE |
| | | WP | WATERPROOF |
| HW | HOT WATER | W | WITH |
| HWH | HOT WATER HEATER | WO | WITHOUT |
| | | WT | WEIGHT |
| ID | INSIDE DIAMETER | | |
| INSUL | INSULATION | YD | YARD |
| INTR | INTERIOR | | |
| JAN | JANITOR | | |
| JT | JOINT | | |

DRAWING SYMBOL LEGEND



GENERAL DEMOLITION NOTES

1. ANY ITEM WHICH IS DESIGNATED TO REMAIN AND IS LOST OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
2. PROMPTLY REPAIR ADJACENT SURFACES DAMAGED BY DEMOLITION OPERATIONS.
3. REMOVE DEMOLISHED MATERIALS AND DEBRIS FROM THE SITE IN A MANNER APPROVED BY THE PROJECT MANAGER. TRANSPORT AND LEGALLY DISPOSE OFF MATERIALS AT AN APPROVED OFF SITE LOCATION.
4. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE SITE CLEAN.
5. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

EXISTING MATERIALS NOTES

1. EXISTING ROOFING MATERIAL IS BUILT UP ROOF ON FIBER BOARD SUBSTRATE ON METAL DECKING. ON THE ADDITION, EXISTING ROOFING MATERIAL IS CORRUGATED METAL PANEL.
2. EXISTING FLASHING IS SHEET METAL.
3. EXISTING WALLS ARE CONCRETE MASONRY BLOCKS.

EXISTING CONDITIONS

1. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, SLOPES, AREAS, AND CONDITIONS. DIMENSIONS AND AREAS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
2. DRAWINGS IN THIS SET ARE NOT TO BE CONSIDERED MEASURED DRAWINGS OF AS-CONSTRUCTED CONDITIONS.
3. FIELD MEASUREMENTS WILL BE REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL OBTAIN ALL FIELD MEASUREMENTS AS NECESSARY TO FABRICATE ITEMS OF WORK AND TO COMPLETE THE WORK DEPICTED IN THE CONSTRUCTION DOCUMENTS.
4. IF CONDITIONS ARE ENCOUNTERED WHICH DIFFER FROM CONDITIONS SHOWN OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, TO INCLUDE BUT NOT BE LIMITED TO DETERIORATED MATERIALS, OR DIFFERENT CONCEALED MATERIALS, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND SHALL NOT PROCEED WITH ADDITIONAL WORK WITHOUT WRITTEN AUTHORIZATION.

PROPOSED MATERIALS NOTES

1. NEW ROOFING MATERIAL SHALL BE 4-PLY MODIFIED BITUMEN ROOF, ON COVER BOARD, ON TAPERED INSULATION.
2. NEW ROOFING MATERIAL ON THE ADDITION SHALL BE EXPOSED FASTENER METAL PANELS.
3. NEW FLASHING SHALL BE PREFINISHED GALVANIZED STEEL METAL FLASHING.
4. ALL NEW ROOFING SHALL BE CAPABLE OF RESISTING WIND SPEED OF 106 Vmph per ASCE 7, RISK CATEGORY II.
5. NEW ADDITION SHALL BE A WOOD AND CONCRETE MASONRY UNITS STRUCTURE, WITH BOARD AND BATTEN FIBER CEMENT SIDING.
6. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SUBMITTALS TABLE

| REQUIRED SUBMITTALS PRIOR TO INSTALLATION | | | | | | | | |
|---|----------------------|---------------------------|--------------------|--------|-------------------------------|---------------|-------------------------|--|
| MATERIAL/PRODUCT | MANUF'S PRODUCT INFO | INSTALLATION INSTRUCTIONS | SAFETY DATA SHEETS | SAMPLE | LEGIBLE PHOTO OF THE MATERIAL | SHOP DRAWINGS | MANUF'S SAMPLE WARRANTY | OTHER/NOTES |
| ROOF DECKING | ● | ● | ● | | | | | |
| FLASHINGS | ● | ● | | | | ● | | |
| EXPOSED FASTENER METAL PANEL | ● | ● | ● | ● | | | ● | PROVIDE SAMPLES TO CONSTRUCTION MANAGER FOR APPROVAL |
| FASTENERS FOR METAL PANELS | ● | ● | | | | | | |
| ROUGH CARPENTRY | ● | ● | | | | | | |
| LVL HEADER BEAM | ● | ● | | | | ● | | |
| HANGER CLIPS FOR JOISTS | ● | ● | | | | | | |
| ANCHOR BOLTS FOR CMU-SOLE PLATE CONNECTIONS | ● | ● | | | | | | |
| MODIFIED BIT. ROOFING MATERIAL | ● | ● | | ● | | ● | ● | |
| INSULATION | ● | ● | | | | | ● | |
| COVER BOARD | ● | ● | | | | | ● | |
| CMU BLOCK | ● | ● | | | | | | |
| MORTAR | ● | ● | | | | | | |
| GARAGE DOOR | ● | ● | | | | ● | ● | |
| SIDING | ● | ● | | ● | | | ● | |
| CAULKS AND ADHESIVES | ● | ● | | | | | | |
| BACKER ROD | ● | ● | | | | | | |
| PAINT | ● | ● | | | | | | |

- SUBMITTAL NOTES:
 1. SUBMIT WITH SIGNED TPWD SUBMITTAL COVERSHEET.
 2. SUBMIT EITHER INDIVIDUAL SUBMITTALS PER EACH ITEM, OR A COMBINED SUBMITTAL PER EACH LINE ITEM.
 3. A SUBMITTAL IS REQUIRED PER EACH ITEM NOTED, IF CONTRACTOR HAS DIFFICULTY OBTAINING INFORMATION FOR AN ITEM, PLEASE NOTIFY ARCHITECT.



BIG SPRING STATE PARK
MAINTENANCE SHOP ROOF REPLACEMENT
 PROJECT NUMBER: MR10418

DATE: 12-9-2019
 DESIGN BY: JWB
 DRAWN BY: HF/RZ
 REVIEW BY: JWB
 REVISED:

SHEET TITLE
 ABBREVIATIONS,
 NOTES &
 SUBMITTALS

SHEET NUMBER
A0

SEE CLEARER PHOTOS
IN BID DOCUMENTS



REMOVE EXISTING STUD WALL
AND REPLACE WITH CMU BLOCKS

H INTERIOR VIEW AT WINDOW



F ROOF VIEW AT EXISTING ROOF PENETRATION



REMOVE AND DISCARD METAL
ROOF AND WOOD STRUCTURE
BELOW

D SOUTH VIEW OF MAINTENANCE SHOP



B WEST VIEW OF MAINTENANCE SHOP



EXISTING STACK VENT TO BE
REMOVED AND DISCARDED.
ENSURE VENT STACK IS NOT
BEING USED BEFORE REMOVAL.

G VIEW AT EXISTING VENT STACK



EXISTING WALL MOUNTED
ANTENNA TO BE REMOVED AND
PROPERLY INSTALLED WITH
UNISTRUT WALL SYSTEM.

E VIEW AT EXISTING ANTENNA SUPPORT



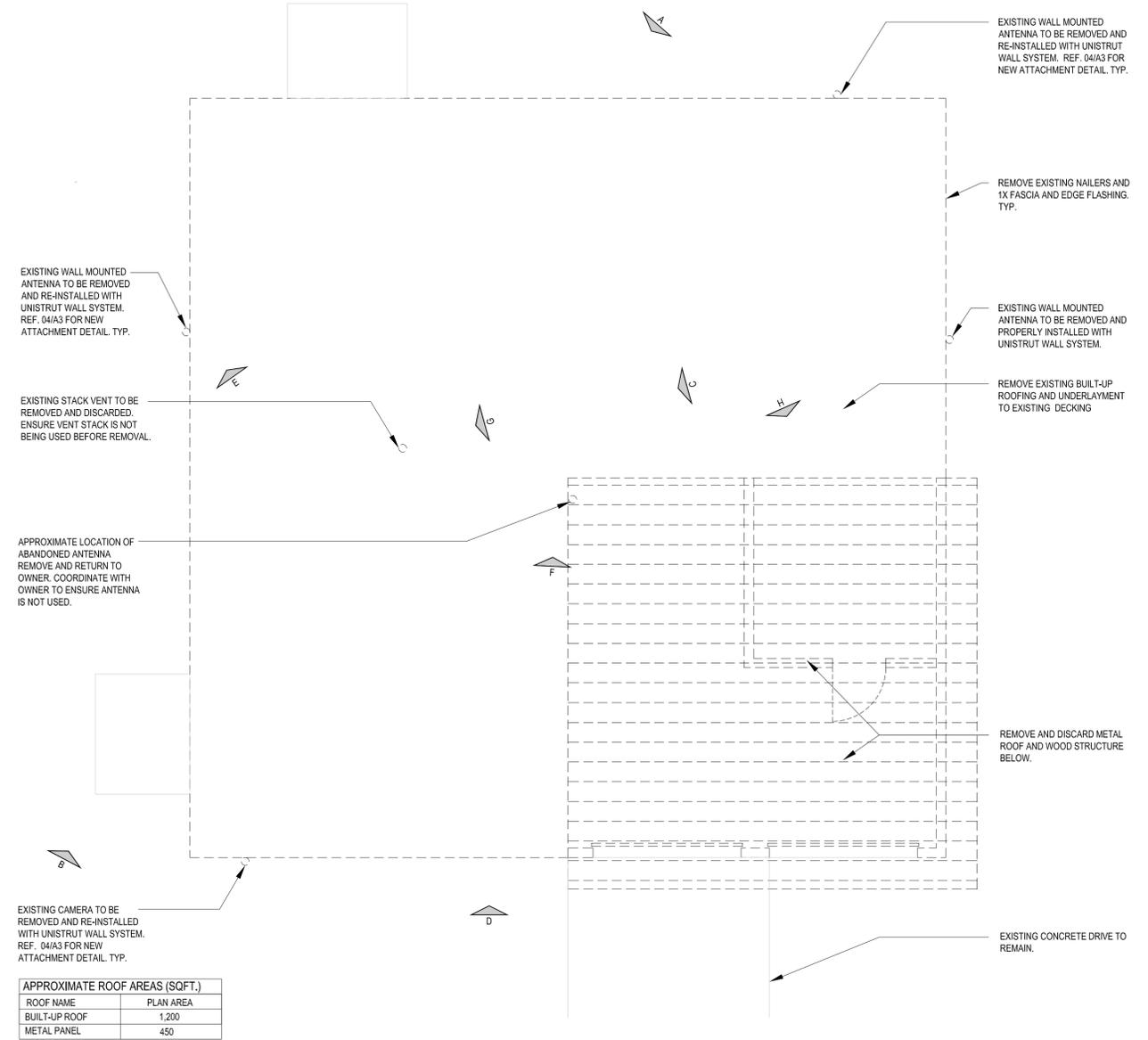
REMOVE ANTENNA AND RETURN
TO OWNER.

REMOVE AND DISCARD METAL
ROOF AND WOOD STRUCTURE
BELOW

C ROOF VIEW AT EXISTING METAL ROOFING



A NORTH VIEW OF MAINTENANCE SHOP



| APPROXIMATE ROOF AREAS (SQFT.) | |
|--------------------------------|-----------|
| ROOF NAME | PLAN AREA |
| BUILT-UP ROOF | 1,200 |
| METAL PANEL | 450 |

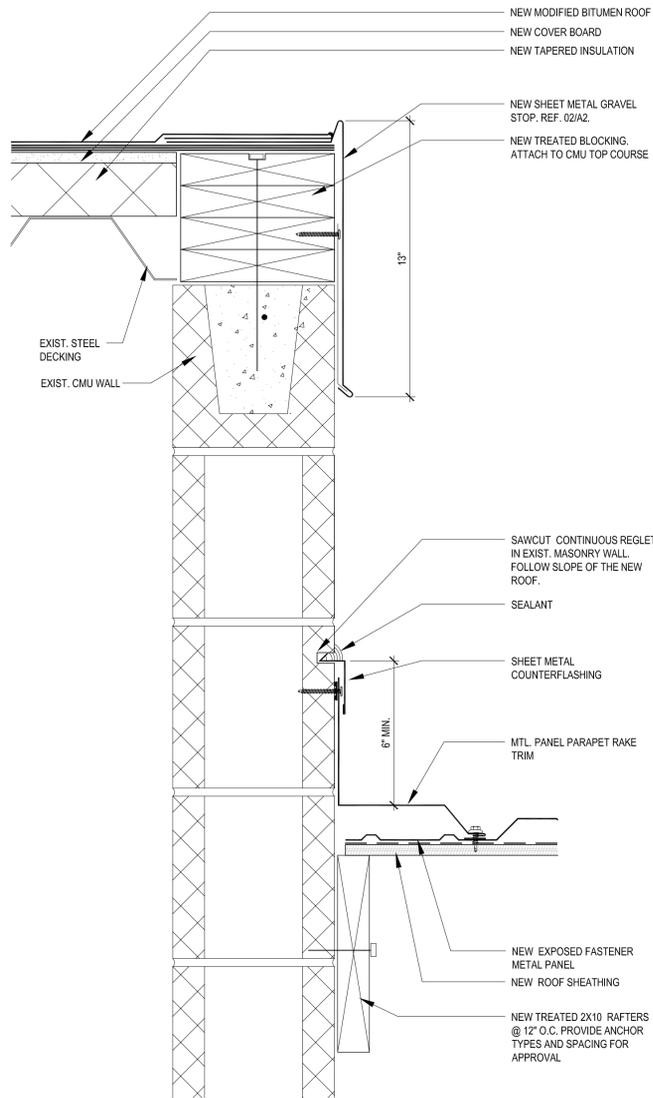
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**MAINTENANCE SHOP
PHOTOS** 02



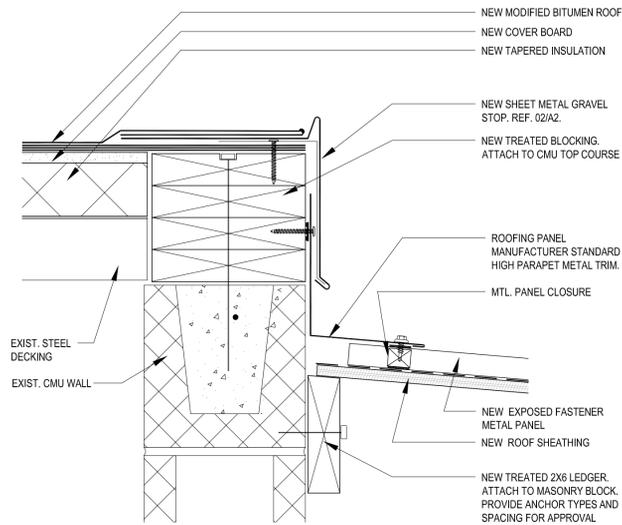
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1/4" = 1'-0"

**MAINTENANCE SHOP
DEMOLITION ROOF PLAN** 01



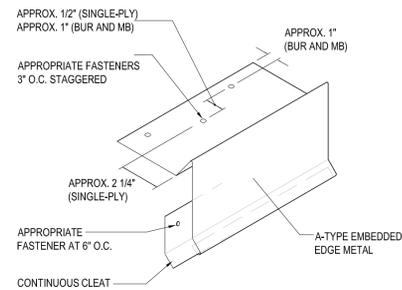
0 SCALE: 4"
3" = 1'-0"

METAL ROOF HEADWALL DETAIL 06



0 SCALE: 4"
3" = 1'-0"

METAL ROOF SIDEWALL DETAIL 05

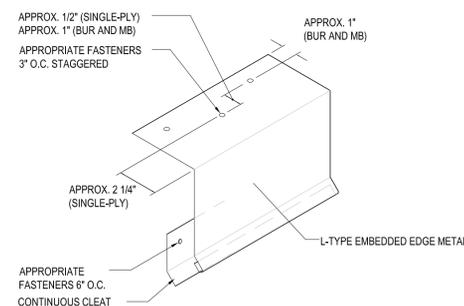


NOTES:
1. ROOF MEMBRANE, ASSOCIATED FLASHINGS AND METAL JOINTS NOT SHOWN FOR CLARITY.
2. NRCA HAS OBTAINED AN ANSIPRES-1 APPROVAL LISTING FOR THIS SPECIFIC SHOP-FABRICATED FLASHING COMPONENT. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.
3. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.

A-TYPE EMBEDDED EDGE METAL WITH DRIP AND CLEAT - LOW-SLOPE ROOF SYSTEMS
2018 NOT DRAWN TO SCALE EE-1

SCALE:
N.T.S.

NRCA ROOF EDGE DETAIL 04

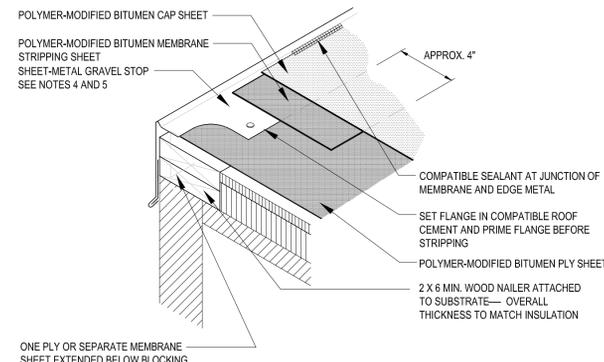


NOTES:
1. ROOF MEMBRANE, ASSOCIATED FLASHINGS AND METAL JOINTS NOT SHOWN FOR CLARITY.
2. NRCA HAS OBTAINED AN ANSIPRES-1 APPROVAL LISTING FOR THIS SPECIFIC SHOP-FABRICATED FLASHING COMPONENT. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.
3. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.

L-TYPE EMBEDDED EDGE METAL WITH DRIP AND CLEAT - LOW-SLOPE ROOF SYSTEMS
2018 NOT DRAWN TO SCALE EE-5

SCALE:
N.T.S.

NRCA ROOF EDGE DETAIL 03

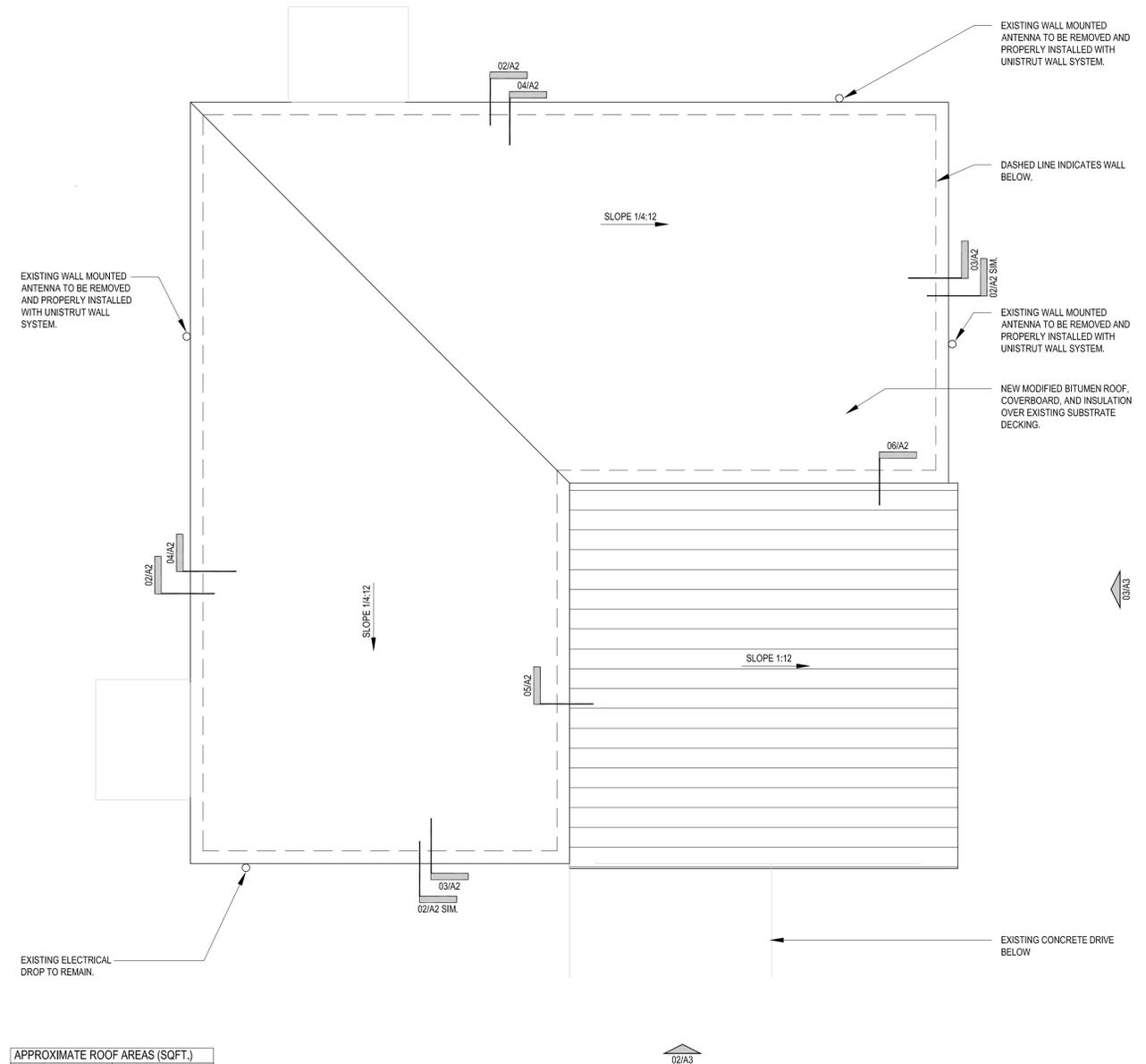


NOTES:
1. THIS DETAIL IS APPLICABLE FOR HOT-, COLD-, OR TORCH-APPLIED FLASHING SYSTEMS.
2. WHEN POTENTIAL FIRE HAZARDS CAN BE MITIGATED, NRCA CONSIDERS IT ACCEPTABLE TO INSTALL TORCH-APPLIED POLYMER-MODIFIED BITUMEN SHEET OVER THE SPECIFIED BACKING FLASHING USING THE CORRECT TORCHING METHOD PROVIDED LOW OUTPUT (50,000 BTU OUTPUT OR LESS) TORCHING EQUIPMENT IS USED. WHEN POTENTIAL FIRE HAZARDS CANNOT BE ADEQUATELY MITIGATED, TORCH-APPLIED POLYMER-MODIFIED BITUMEN SHEET SHALL BE INSTALLED USING CORRECT TORCHING METHODS, SUCH AS THE TORCH-AND-FLAP APPLICATION METHOD.
3. FOR ROOF SYSTEMS WITH FACTORY-APPLIED GRANULE SURFING, PROPERLY FABRICATE CAP SHEET TO RECEIVE FLASHING.
4. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL ARCHITECTURAL METAL FLASHING, DIMENSIONING AND AIR LEAKAGE CONTROL, AND FLASHING FOR DESIGN, JOINTS AND SECURITY OPTIONS FOR GRAVEL STOPS.
5. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.

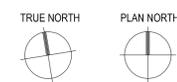
EMBEDDED EDGE-METAL FLASHING (GRAVEL STOP) (HOT-, COLD- OR TORCH-APPLIED FLASHING SYSTEMS)
2019 NOT DRAWN TO SCALE MB-3

SCALE:
N.T.S.

NRCA ROOF EDGE DETAIL 02

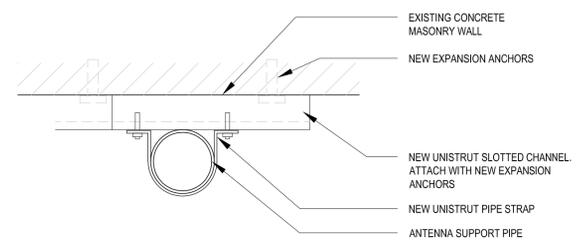


| APPROXIMATE ROOF AREAS (SQFT.) | |
|--------------------------------|-----------|
| ROOF NAME | PLAN AREA |
| NEW MOD. BITUMEN | 1,200 |
| NEW METAL PANEL | 450 |



0 SCALE: 4'-0"
1/4" = 1'-0"

MAINTENANCE SHOP PROPOSED ROOF PLAN 01

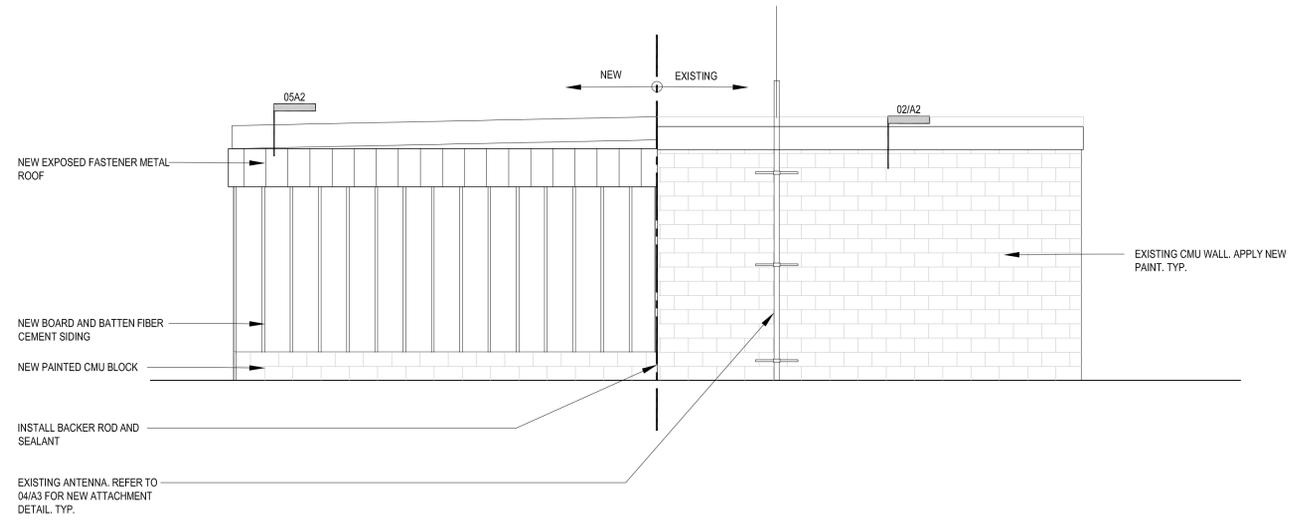


SCALE:
N.T.S.

NOT USED 05

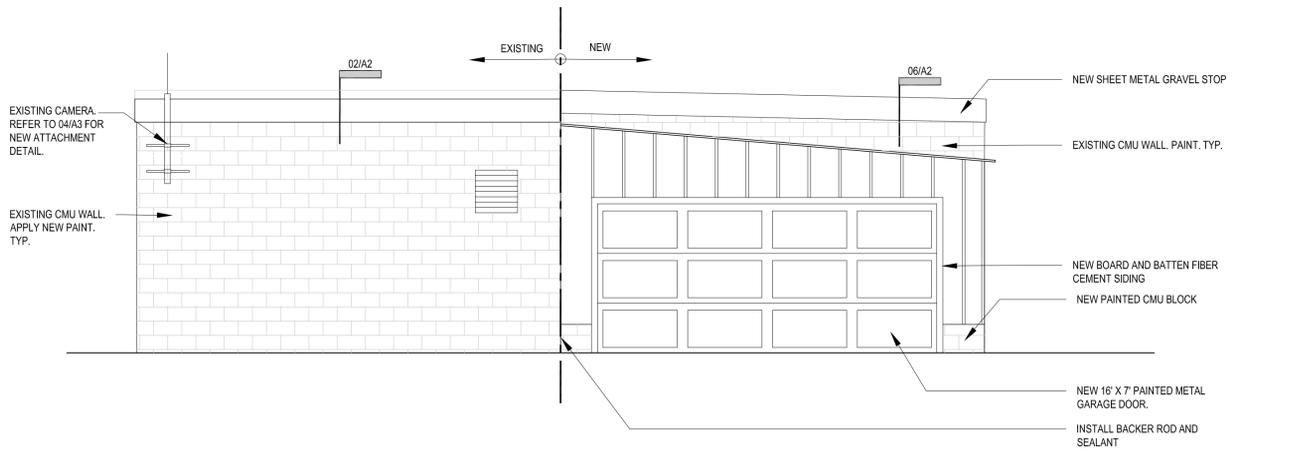
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3" = 1'-0"

DETAIL AT
ANTENNA SUPPORT 04



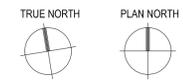
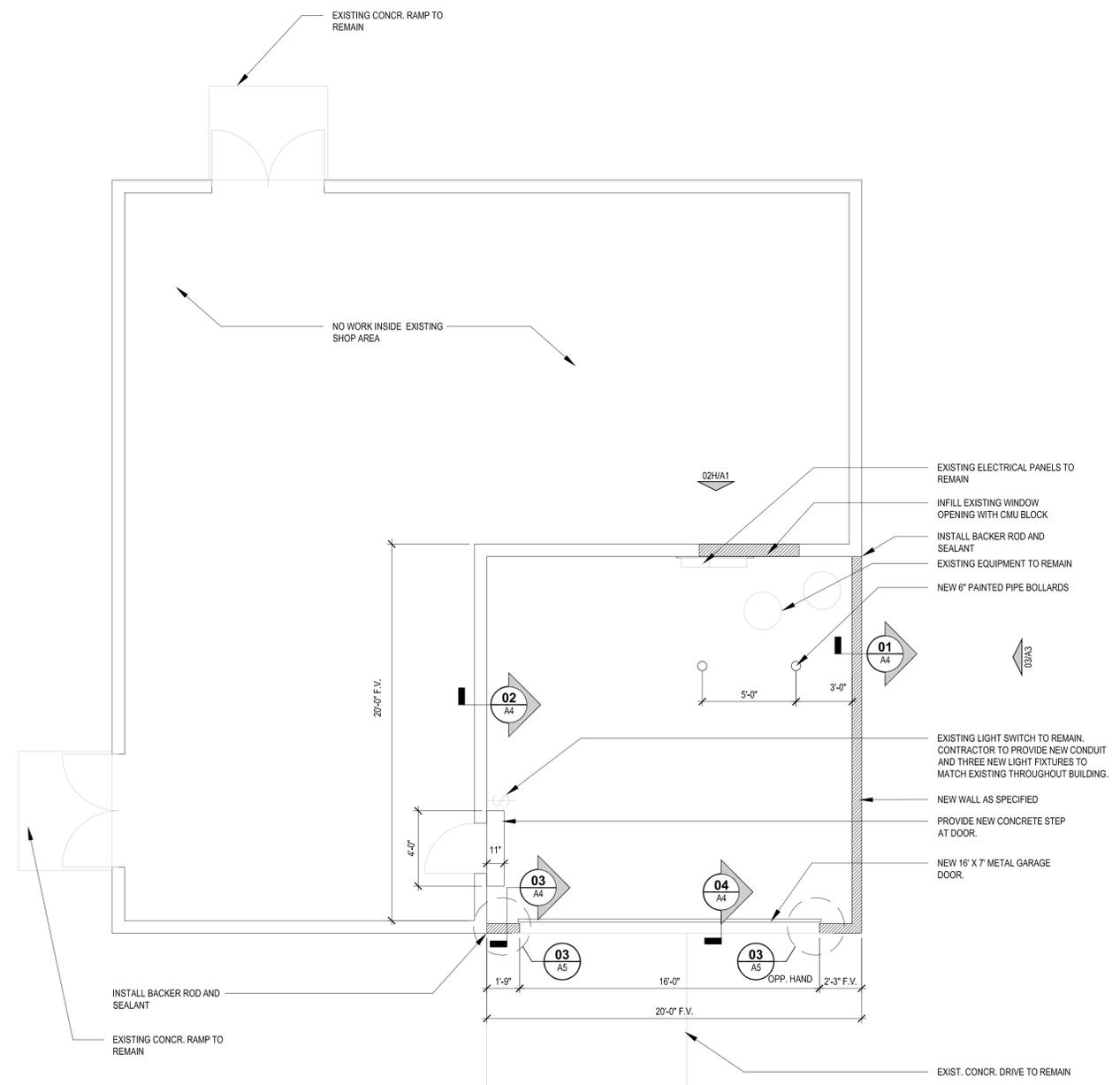
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1/4" = 1'-0"

MAINTENANCE SHOP
EAST ELEVATION 03



0 SCALE: 4'-0"
1/4" = 1'-0"

MAINTENANCE SHOP
SOUTH ELEVATION 02



0 SCALE: 4'-0"
1/4" = 1'-0"

MAINTENANCE SHOP
PROPOSED FLOOR PLAN 01

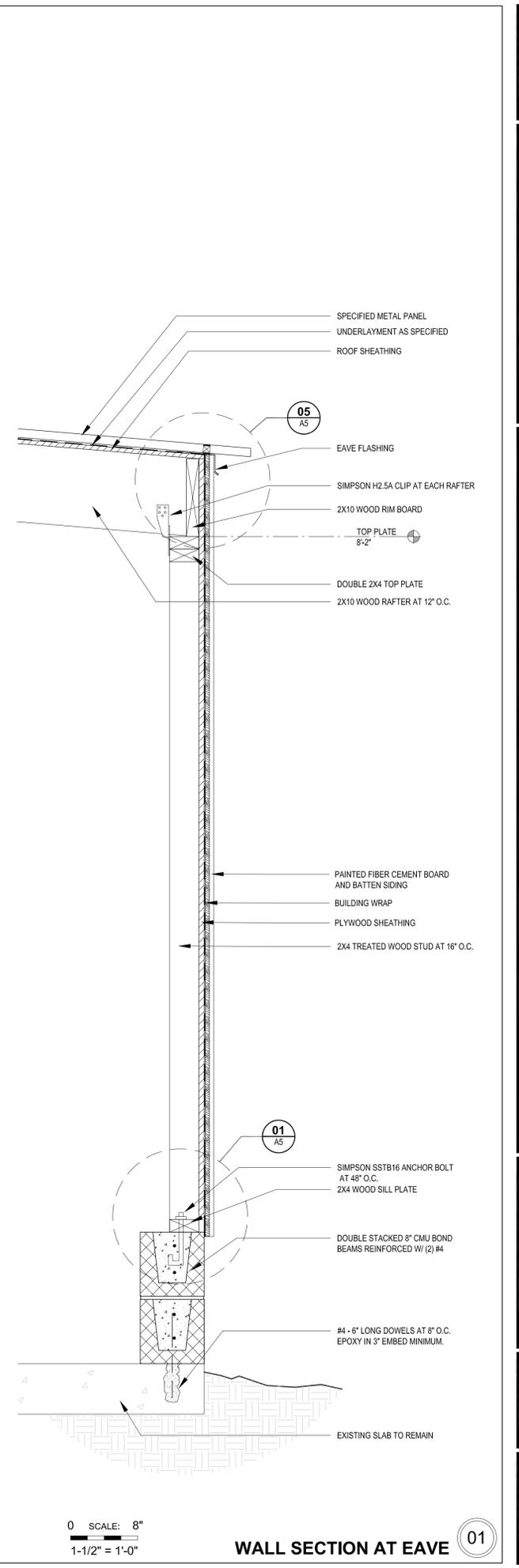
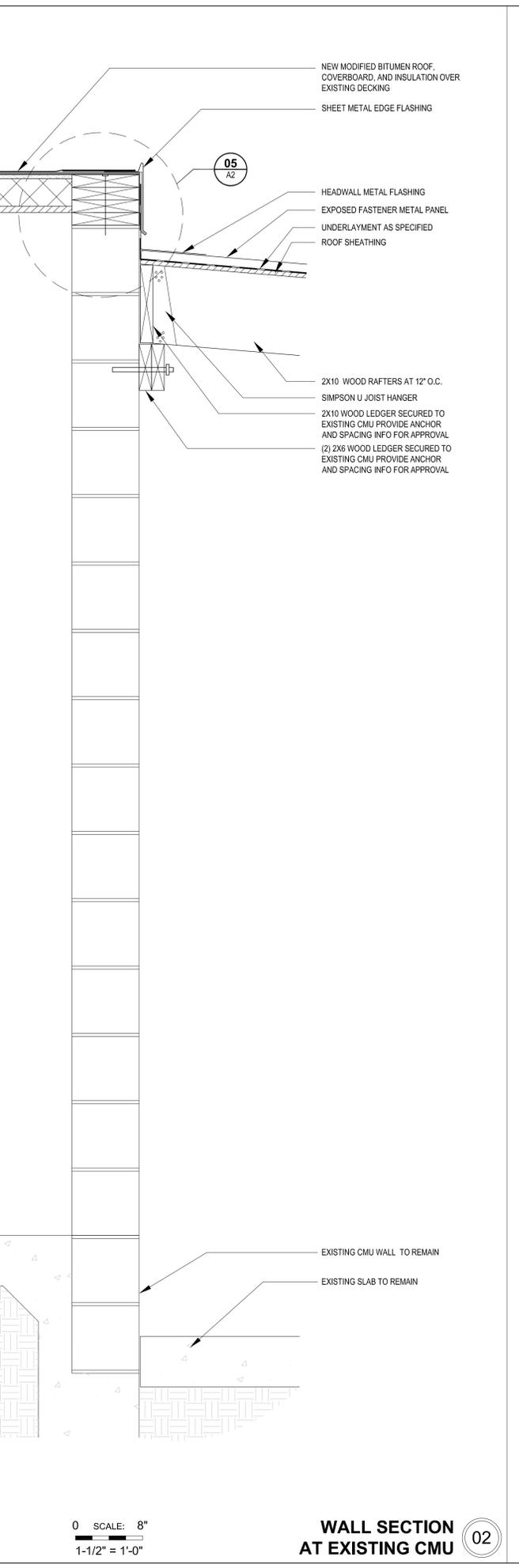
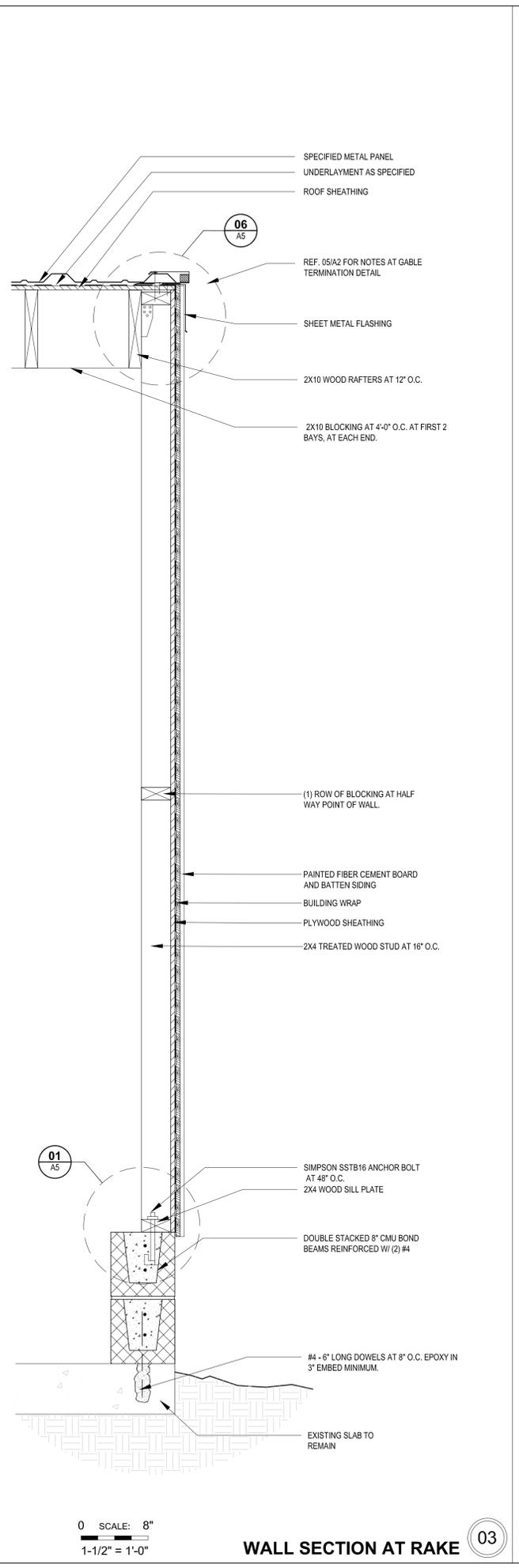
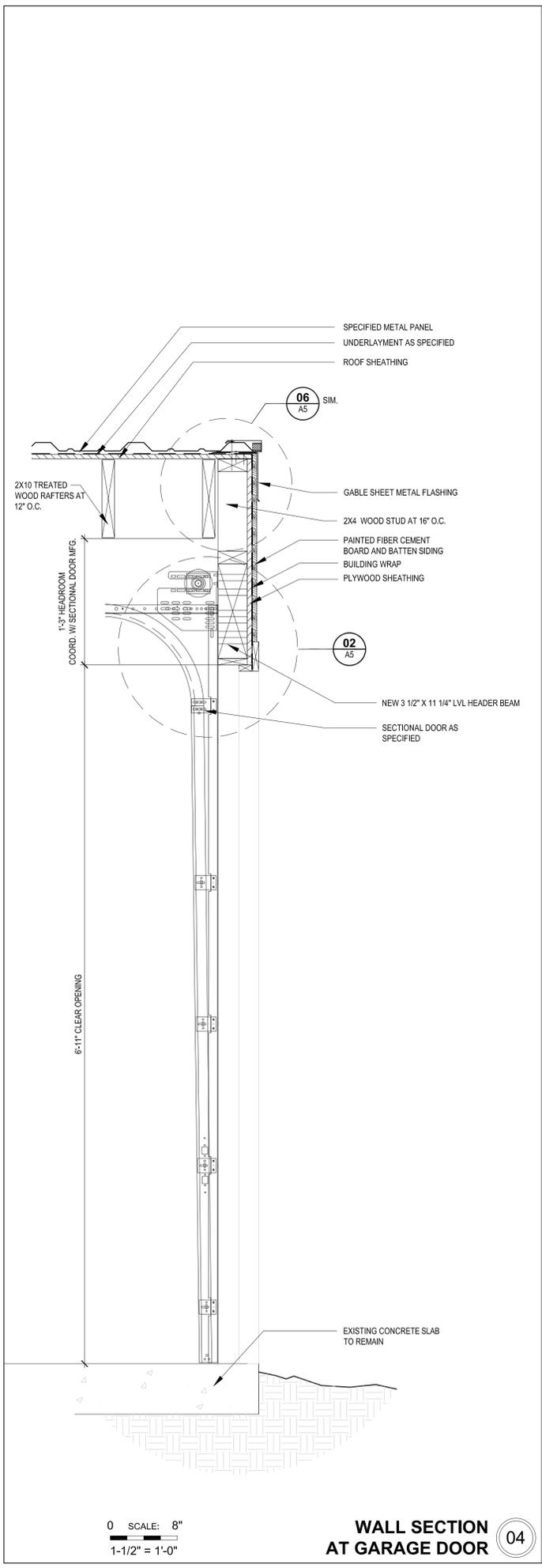
BIG SPRING STATE PARK
MAINTENANCE SHOP ROOF REPLACEMENT
PROJECT NUMBER: MR10418

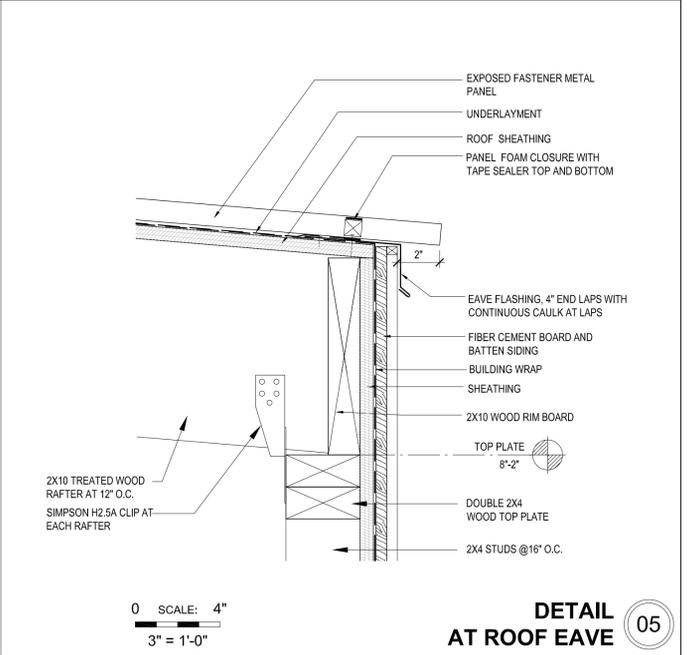
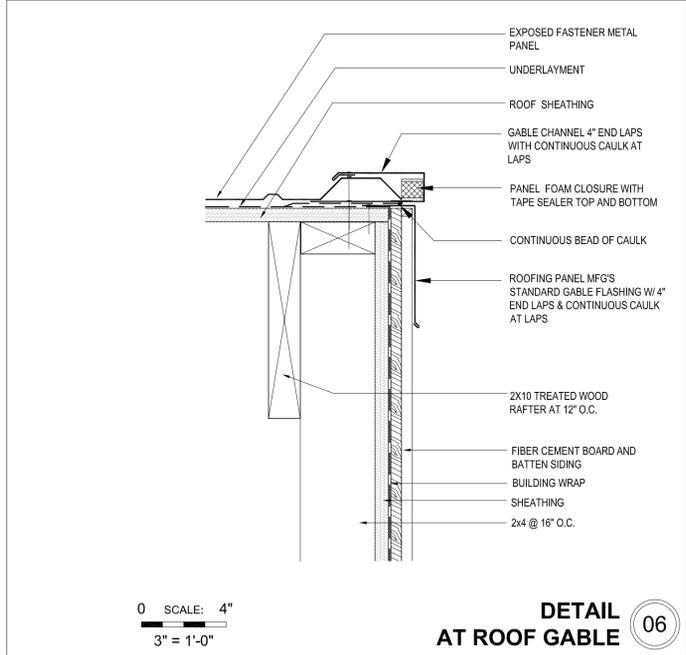
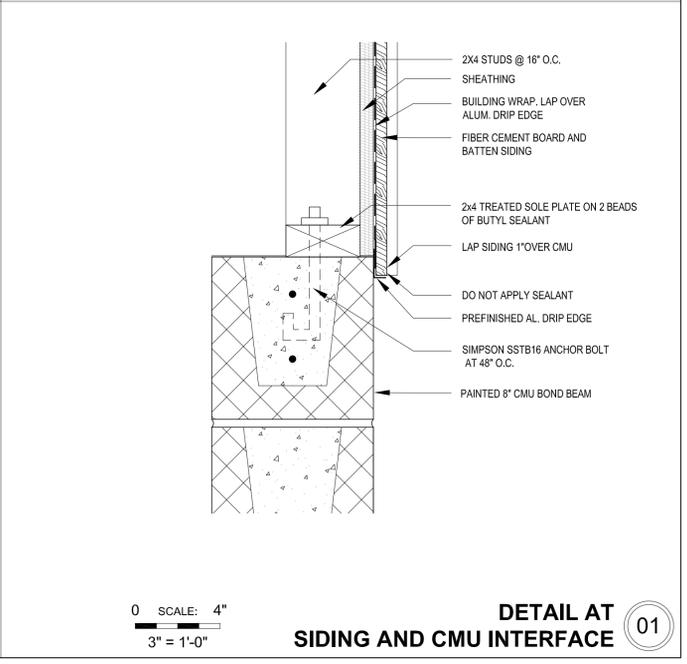
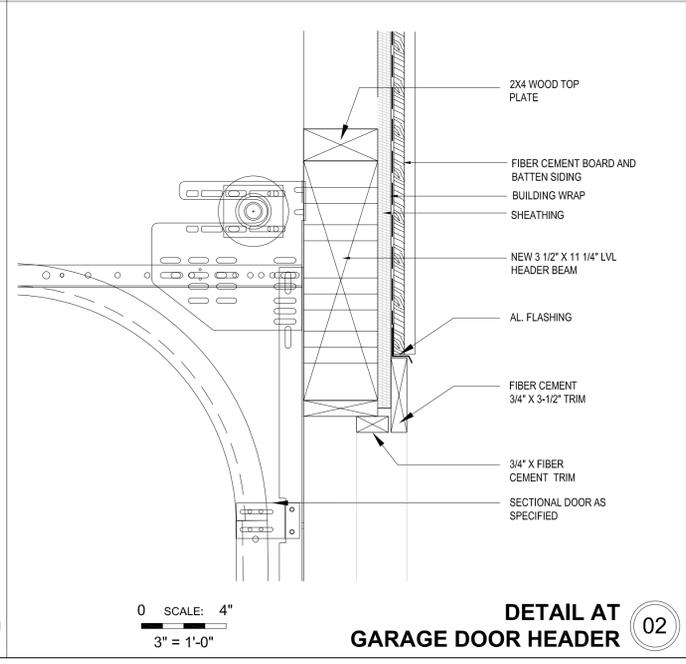
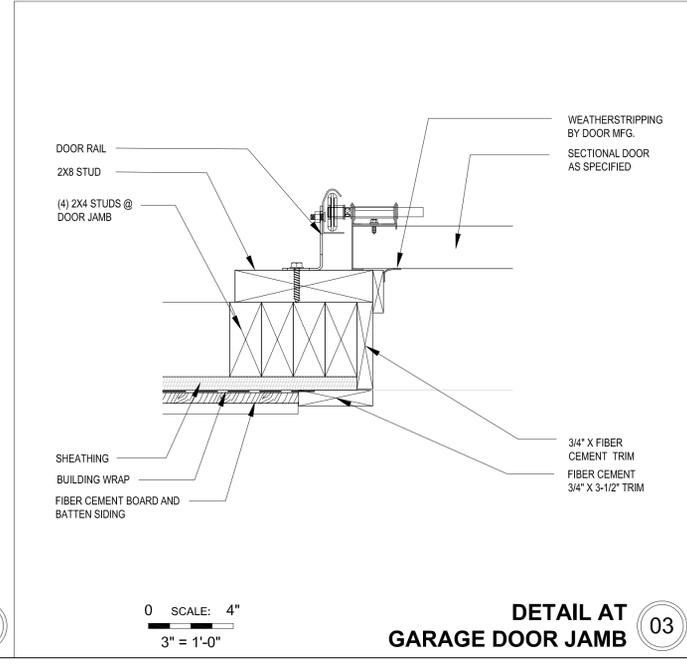
DATE: 12-9-2019
DESIGN BY: JWB
DRAWN BY: HFRZ
REVIEW BY: JWB
REVISED:
REVISED:

SHEET TITLE
WALL SECTIONS

SHEET NUMBER
A4

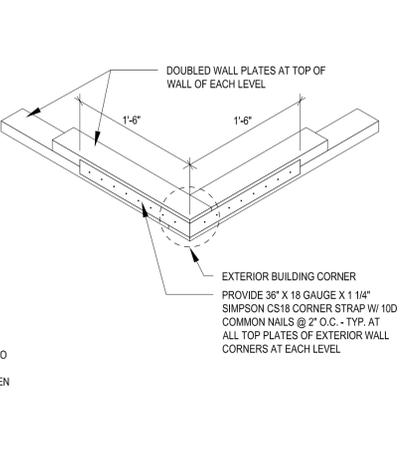
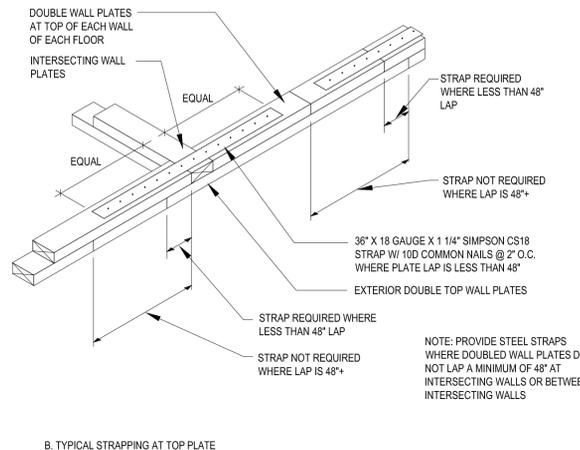
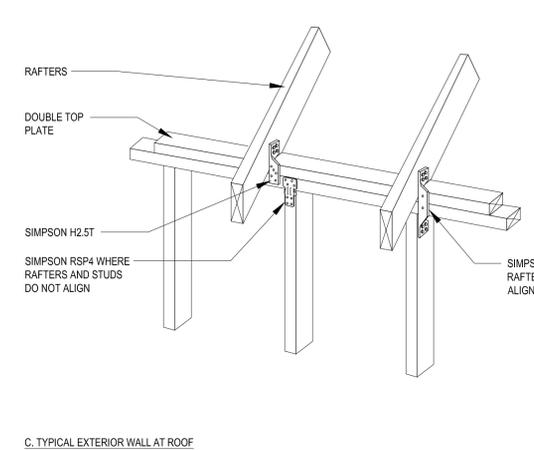
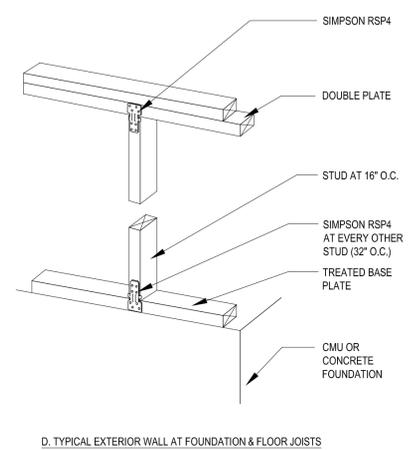
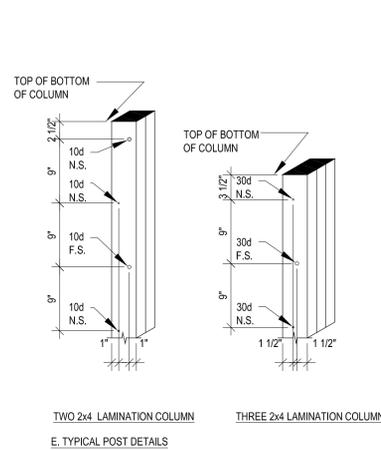
PERCENTAGE: 100% CONSTRUCTION DOCUMENTS





SCALE:
N.T.S.

NOT USED 04

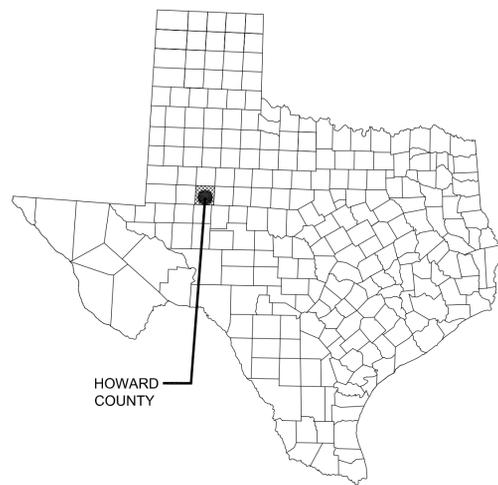


GENERAL FRAMING AND FASTENING NOTES

| GENERAL FASTNER SCHEDULE | | GENERAL FASTNER SCHEDULE | |
|--|---|--|--|
| CONNECTION | NAILING (1) | CONNECTION | NAILING (1) |
| 1. JOIST TO SILL OR GIRDER, TOENAIL | 3- 8d 3- 3"x0.131" NAILS | 22. COLLAR TIE TO RAFTER, FACE NAIL | 3-10d 4-3"x0.131" NAILS |
| 2. BRIDGING TO JOIST, TOENAIL EACH END | 2- 8d 2-3"x0.131" NAILS | 23. JACK RAFTER TO HIP, TOENAIL | 3-10d, 4-3"x0.131" NAILS |
| 3. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL | 16d AT 16" O.C. 3"x0.131" NAILS @ 8" O.C. | FACE NAIL | 2-16d 3-3"x0.131" NAILS |
| 4. TOP PLATE TO STUD, END NAIL | 2- 16d 3-3"x0.131" NAILS | 24. ROOF RAFTER TO 2X RIDGE BEAM, TOENAIL | 2-16d 3-3"x0.131" NAILS |
| 5. STUD TO SOLE PLATE, TOENAIL | 3-8d, 4-3"x0.131" | FACE NAIL | 2-16d 3-3"x0.131" NAILS |
| TOENAIL | 2-16d, END NAIL 3-3"x0.131" ENDNAILS | 25. JOIST TO BAND JOIST, FACE NAIL | 3-16d 5-3"x0.131" NAILS |
| 6. DOUBLE STUD, FACE NAIL | 16d AT 24" O.C. 3"x0.131" NAILS @ 8" O.C. | 26. LEDGER STRIP, FACE NAIL | 3-16d 4-3"x0.131" NAILS |
| 7. DOUBLED TOP PLATES, FACE NAIL | 16d AT 16" O.C. 3"x0.131" NAILS @ 12" O.C. | 27. WOOD STRUCTURAL PANELS & PLYWOOD: (9) ROOF & WALL SHEATHING (TO FRAMING); 1/2" THICK AND LESS: | 6d (2) 23/8"x 0.113" NAIL 13/4" 16 GAGE |
| 8. DOUBLE TOP PLATE LAP SPLICE, FACE NAIL | 8-16d 12-3"x0.131" NAILS | 19/32"-3/4" THICK: | 8d (3) OR 6d (4) 23/8"x 0.113" NAIL 2" 16 GAGE |
| TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL | 2-16d | 7/8"-1" THICK: | 8d (2) |
| 9. BLOCKING BETWEEN JOISTS OR RAFTERS | 3-8d COMMON | SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING) 11/8"-11/4" THICK: | 10d (3) or 8d (4) |
| TOENAIL TO TOP PLATE | 3-3"x0.131" NAILS | 28. PANEL SIDING (TO FRAMING); 1/2" THICK OR LESS: | 6d (6) 8d (6) |
| 10. RIM JOIST TO TOP PLATE, TOENAIL | 8d AT 6" O.C. 3"x0.131" NAILS @ 6" O.C. | 5/8" THICK: | 8d (6) |
| 11. CONTINUOUS HEADER, TWO PIECES | 16d AT 16" O.C. ALONG EDGE | 29. FIBERBOARD OR GYPSUM BOARD SHEATHING: (7) 1/2" THICK: | No. 11 ga.8 6d (3) No. 16 ga.9 |
| 12. CEILING JOISTS TO PLATE, TOENAIL | 3-8d 5-3"x0.131" NAILS | 25/32" THICK: | No. 11 ga.8 8d (3) No. 16 ga.9 |
| 13. CONTINUOUS HEADER TO STUD, TOENAIL | 4-8d | 30. WOOD ROOF DECKING: (8) ROOF SHEATHING (TO FRAMING); 1/2" THICK AND LESS: | 6d (2) 23/8"x 0.113" NAIL 13/4" 16 GAGE |
| 14. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL: | 16d AT 16" O.C. 4-3"x0.131" NAILS | 19/32"-3/4" THICK: | 8d (3) OR 6d (4) 23/8"x 0.113" NAIL 2" 16 GAGE |
| 15. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL | 3-16d | 31. FLOOR DECKING (TO FRAMING); 1-1/2" THICK: | #8 x 3" SCREWS & URETHANE ADHESIVE |
| 16. RAFTER TO PLATE, TOENAIL | 3-8d 3-3"x0.131" NAILS | | |
| 17. 1" DIAGONAL BRACE TO EACH STUD AND PLATE | 2-8d 3-3"x0.131" NAILS | | |
| 18. 1"x8" SHEATHING OR LESS TO EACH BEARING. | 2-8d | | |
| 19. WIDER THAN 1"x8" SHEATHING TO EACH BEARING. | 3-8d | | |
| 20. BUILT-UP CORNER STUDS | 16d AT 24" O.C. 3"x0.131" NAILS @ 6" O.C. | | |
| 21. BUILT-UP GIRDER AND BEAMS, FACE NAIL | 20d AT 32" O.C. 3"x0.131" NAILS @ 24" O.C. AT TOP AND BOTTOM AND STAGGERED ON OPPOSITE SIDES | | |
| | 2-20d 3-3"x0.131" NAILS AT ENDS & AT EACH SPLICE | | |

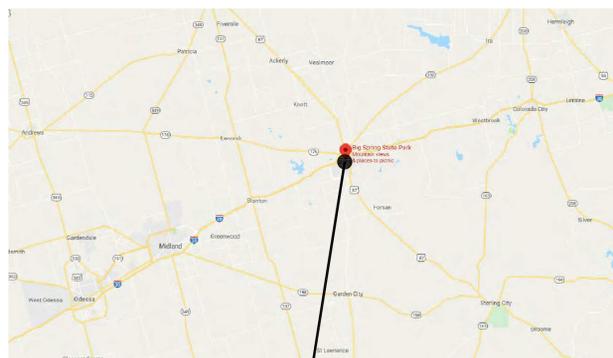
NOTES:
(1) COMMON NAILS TO BE USED EXCEPT WHERE OTHER WISE STATED.
(2) COMMON OR DEFORMED SHANK. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
(3) COMMON.
(4) DEFORMED SHANK.
(5) NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS (10 INCHES AT INTERMEDIATE SUPPORTS FOR FLOORS), EXCEPT 6 INCHES AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF PLYWOOD AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS. NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
(6) CORROSION - RESISTANT SIDING OR CASING NAILS.
(7) FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.
(8) CORROSION - RESISTANT RING SHANK (OR DEFORMED) ROOFING NAILS WITH 7/16 INCH DIAMETER HEAD AND 1-1/2 INCH LENGTH FOR 1/2 INCH SHEATHING AND 13/4 INCH LENGTH FOR 25/32 INCH SHEATHING.
(9) CORROSION - RESISTANT STAPLES WITH NOMINAL 7/16 INCH CROWN AND 1-1/8" INCH LENGTH FOR 1/2 IN SHEATHING AND 11/2 INCH LENGTH FOR 25/32 INCH SHEATHING.

| GENERAL FASTNER NOTES | | |
|--|---------------------|---------------------|
| 1. FOR PLYWOOD NAILING 10 GAGE X 17/8" CUT NAILS MAY BE USED IN LIEU OF 8D; AND 9 GAGE X 21/8" CUT NAILS IN LIEU OF 10D. FOR NAILING OF PLYWOOD, A CONTACT OR BEARING IS DEFINED AS FOLLOWS: A FACE WIDTH OF A MEMBER OR GROUP OF INTERCONNECTED MEMBER 61/2" OR LESS IS ONE CONTACT. A FACE WIDTH MORE THAN 61/2" IS TWO CONTACTS. DOUBLE TOP OF WALL PLATES SHALL BE CONSIDERED AS TWO CONTACTS. | | |
| 2. WHEN PERMISSION FOR USE OF NAILING GUN IS GRANTED, THE NAILS SHALL BE DRIVEN TO A LINE MARKED ON THE PW. ALL HEADS SHALL BE FULL SEATED AND NO NAIL POINTS SHOWING. NAILS SHALL BE DRIVEN PERPENDICULAR TO PW FACE. | | |
| 3. NAILING NOT NOTED ABOVE OR ON DETAILS SHALL BE AT LEAST TWO NAILS AT ALL CONTACT POINTS, USING 8D THROUGH 1" MATERIAL, 16D THROUGH 2" MATERIAL, 40D NAILS THROUGH 3" MATERIAL AND 30D THROUGH 2" MATERIAL ON FACE OF SHEATHING. | | |
| 4. ALTERNATE POWER NAILS (FOR FRAMING MEMBERS ONLY) PERMISSION FOR USE OF NAILING GUN IS GRANTED, THE NAILS SHALL BE DRIVEN TO A LINE MARKED ON THE PW. ALL HEADS SHALL BE FULL SEATED AND NO NAIL POINTS SHOWING. NAILS SHALL BE DRIVEN PERPENDICULAR TO PW FACE NAILING NOT NOTED ABOVE OR ON DETAILS SHALL BE AT LEAST TWO NAILS AT ALL CONTACT POINTS, USING 6d THROUGH 1" MATERIAL, 10d THROUGH 2" MATERIAL, 40d NAILS THROUGH 3" MATERIAL AND 20d THROUGH 2" MATERIAL ON FACE OF SHEATHING. | | |
| 5. 8d NAILS - .113 X 23/8" | | |
| 6. 6d - .131 X 3" | | |
| 7. PROVIDE DEFORMED SHANK NAILS AS REQUIRED BY U.L. RATINGS. | | |
| 8. GYPSUM BOARD SHALL BE SCREWED TO FRAMING AT 12" O.C. FOR CEILINGS AND 16" O.C. FOR WALLS, USING #6 1-1/4" SCREWS. | | |
| GENERAL NOTES | | |
| 1. SHEATH ENTIRE EXTERIOR SHEAR WALLS THEN CUT-OUT FOR WINDOWS. | | |
| 2. STRAPPING AND CLIPS NOTED ARE SIMPSON, CONTRACTOR MAY PROVIDE AN ALTERNATE BRAND | | |
| 3. ALL EXTERIOR AND LOAD BEARING WALLS SHALL BE ANCHORED TO CMU WITH 1/2" DIA. x 8" L" ANCHOR BOLTS, U.N.O. | | |
| STUD SCHEDULE (EXCEPT AS NOTED ON ARCHITECTURAL DRAWINGS) (S.Y.P. STUD GRADE) | | |
| | EXTERIOR | INTERIOR |
| UP TO 10' PLATE | 2 X 4'S AT 16" O.C. | 2 x 4'S AT 16" O.C. |
| 10' PLATE | 2 X 4'S AT 16" O.C. | 2 x 4'S AT 16" O.C. |
| STUD SCHEDULE NOTES: | | |
| 1. ALL VOLUME AREAS SHALL BE BALLOON FRAMED W/ 2x4 @ 16" O.C. | | |
| 2. ALL SHEARWALLS SHALL HAVE STUDS @ 16" O.C. (MAX.) | | |
| 3. NON-LOAD BEARING INTERIOR PARTITIONS - FRAMED W/ 2x4 @ 16" O.C.. | | |



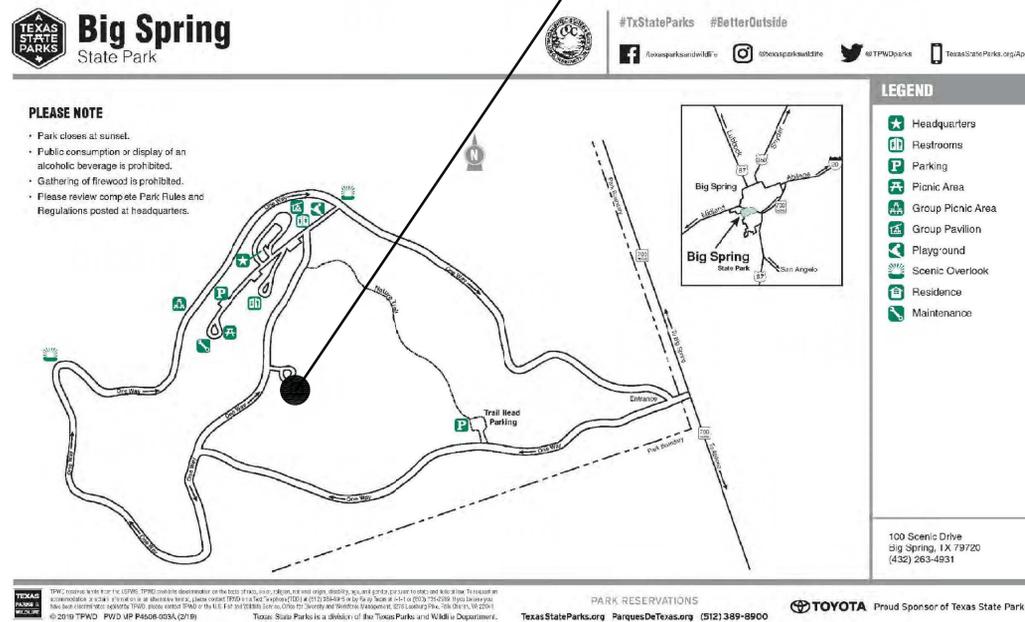
HOWARD COUNTY

COUNTY LOCATION MAP
NOT TO SCALE



PROJECT SITE

VICINITY MAP
NOT TO SCALE



SITE LOCATION MAP
NOT TO SCALE



TPWD TEAM

| | | | |
|--|--|---|---|
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PROJECT
BIG SPRING STATE PARK
RESIDENCE ROOF REPLACEMENT

PROJECT NO: EH10338

DATE: DEC. 9, 2019

INDEX OF DRAWINGS

| SHEET NO. | DESCRIPTION |
|-----------|-------------------------------------|
| - | COVER SHEET |
| A0 | ABBREVIATIONS, NOTES AND SUBMITTALS |
| A1 | ROOF PLAN & PHOTOS |
| A2 | ROOF DETAILS |

BUILDING CODE SUMMARY

- A. INTERNATIONAL CODE COUNCIL ADOPTIONS*
 1. BUILDING CODE INTERNATIONAL BUILDING CODE 2015
 2. STRUCTURAL CODE INTERNATIONAL BUILDING CODE 2015
 3. PLUMBING CODE INTERNATIONAL PLUMBING CODE 2015
 4. MECHANICAL CODE INTERNATIONAL MECHANICAL CODE 2015
 5. GAS CODE INTERNATIONAL FUEL GAS CODE 2015
 6. RESIDENTIAL CODE INTERNATIONAL RESIDENTIAL CODE 2015
 7. EXISTING BUILDINGS INTERNATIONAL EXISTING BUILDINGS CODE 2015
- * International Fire Code omitted in lieu of TPWD's implementation of National Fire Protection Association codes. International Energy Conservation Code 2015 omitted in lieu of Energy Standard for Buildings, ASHRAE/IESNA Standard 90.1 (2013).
- B. NATIONAL FIRE PROTECTION ASSOCIATION
 1. ELECTRIC CODE NATIONAL ELECTRICAL CODE NFPA-70 2017
 2. FIRE CODE NFPA - 1 2015
 3. LIFE SAFETY CODE NFPA - 101 2015
- C. STATE ENERGY CONSERVATION OFFICE (SECO)/TEXAS COMPTROLLERS OFFICE
 1. ENERGY CODES FOR STATE BUILDINGS - See Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C
 - a. COMPLIANCE WITH THE ENERGY CONSERVATION DESIGN STANDARD OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS (ASHRAE) /ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA), ENERGY STANDARD FOR BUILDINGS, ASHRAE/IESNA STANDARD 90.1 (2013)
 - See SECO website for State Funded Buildings, New Construction and Major Renovation Requirements and SECO Compliance Certification Forms
 2. WATER CONSERVATION STANDARDS FOR STATE BUILDINGS - Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C
 - a. COMPLIANCE WITH THE WATER CONSERVATION DESIGN STANDARDS FOR STATE BUILDINGS AND INSTITUTIONS OF HIGHER EDUCATION FACILITIES, STATE ENERGY CONSERVATION OFFICE (SECO), 2016
 - See SECO website for Texas Water Conservation Design Standards, Requirements and SECO Compliance Certification / Reporting Form
- D. ACCESSIBILITY CODES
 1. US DEPT. OF JUSTICE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
 2. ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, OUTDOOR DEVELOPED AREAS, NOVEMBER 25, 2013
 3. 2012 TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT CODE, CHAPTER 469
- E. PLAYGROUND SAFETY CODE
 1. ASTM F1487-17, STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATIONS FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE
 2. ASTM F2223-15, STANDARD GUIDE FOR ASTM STANDARDS ON PLAYGROUND SURFACING

SCOPE OF WORK

CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, TOOLS, MATERIALS, AND INCIDENTALS NECESSARY TO REMOVE THE EXISTING ROOF TO EXISTING TRUSSES, INSTALL NEW ROOF AND REPLACE HEADER AT EXISTING GARAGE AT THE RESIDENCE BUILDING AT BIG SPRING STATE PARK.



TEXAS PARKS AND WILDLIFE
INFRASTRUCTURE DIVISION

4200 SMITH SCHOOL ROAD · AUSTIN, TEXAS 78744-3292

RELEASED FOR SOLICITATION

Tom Bettis
PROJECT MANAGER, INFRASTRUCTURE DIVISION

5/20/2020
DATE

Lori Sons
DESIGN BRANCH MANAGER, INFRASTRUCTURE DIVISION

10/13/2020
DATE



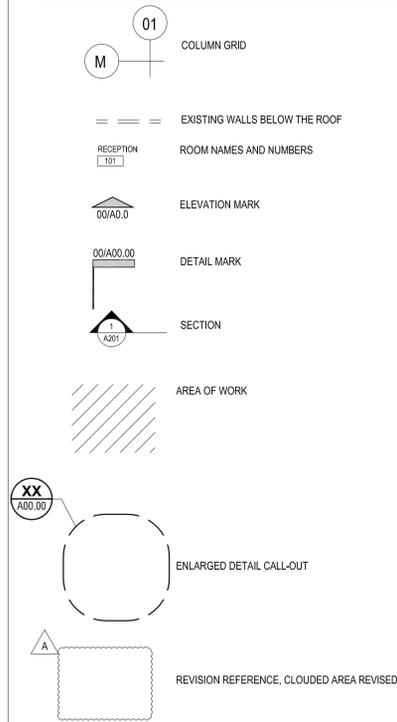
12/9/19

PERCENTAGE: 100% CONSTRUCTION DOCUMENTS

ABBREVIATIONS

| | | | |
|--------|---|---------|--------------------------------|
| ACoust | ACOUSTICAL | LAM | LAMINATE |
| AFF | ABOVE FINISHED FLOOR | LAV | LAVATORY |
| ADD | ADDITION | LB | POUND |
| ADJ | ADJUSTABLE | LBL | LABEL |
| A/C | AIR CONDITIONING | LWT | LIGHTWEIGHT |
| ALT | ALTERNATE | | |
| ALUM | ALUMINUM | MACH | MACHINE |
| APPROX | APPROXIMATE | MAINT | MAINTENANCE |
| APPVD | APPROVED | MATL | MATERIAL |
| ARCH | ARCHITECT | MAX | MAXIMUM |
| AVE | AVENUE | MBR | MEMBER |
| | | MC | MEDICINE CABINET |
| BD | BOARD | MECH | MECHANICAL |
| BETW | BETWEEN | MEP | MECHANICAL/ELECTRICAL/PLUMBING |
| BLDG | BUILDING | MFR | MANUFACTURER |
| BLKG | BLOCKING | MGR | MANAGER |
| BM | BEAM OR BENCH MARK | MIN | MINIMUM |
| BOT | BOTTOM | MISC | MISCELLANEOUS |
| BRZ | BRONZE | MK | MARK |
| BSTMT | BASEMENT | MLDG | MOULDING |
| | | MO | MASONRY OPENING |
| | | MSRY | MASONRY |
| C TO C | CENTER TO CENTER | MTD | MOUNTED |
| CAB | CABINET | MTL | METAL |
| CER | CERAMIC | MUL | MULLION |
| CJ | CONSTRUCTION JOINT/CONTROL JOINT | MW | MICROWAVE |
| CL | CENTER LINE | NIC | NOT IN CONTRACT |
| CLG | CEILING | NO | NUMBER |
| CLR | CLEAR | NOM | NOMINAL |
| CLOS | CLOSET | NTS | NOT TO SCALE |
| CMU | CONCRETE MASONRY UNIT | OA | OVERALL |
| | | OC | ON CENTER |
| CO | CLEANOUT | OD | OUTSIDE DIAMETER |
| COL | COLUMN | OH | OPPOSITE HAND |
| CONC | CONCRETE | OPNG | OPENING |
| CONSTR | CONSTRUCTION | OPP | OPPOSITE |
| CONT | CONTINUOUS | ORIG | ORIGINAL |
| CONTD | CONTINUED | OVHD | OVERHEAD |
| CONTR | CONTRACTOR | OZ | OUNCE |
| COOR | CONTRACTING OFFICER'S REPRESENTATIVE | | |
| CTR | CENTER | PART | PARTIAL |
| CW | COLD WATER | PART BD | PARTICLE BOARD |
| | | PL | PROPERTY LINE |
| DBL | DOUBLE | PLAM | PLASTIC LAMINATE |
| DET | DETAIL | PLMB | PLUMBING |
| DF | DRINKING FOUNTAIN | PLYWD | PLYWOOD |
| DIA | DIAMETER | PREFAB | PREFABRICATED |
| DIAG | DIAGONAL | PR | PAIR |
| DIM | DIMENSION | PROP | PROPERTY |
| DIV | DIVISION | PSI | POUNDS PER SQ IN |
| DEMO | DEMOLITION | PTD | PAINTED |
| DN | DOWN | | |
| DR | DOOR | RA | RETURN AIR |
| DS | DOWNSPOUT | RAD | RADIUS |
| DWG | DRAWING | RAG | RETURN AIR GRILL |
| DWR | DRAWER | RE | REFER |
| | | REC | RECESSED |
| EA | EACH | RECEPT | RECEPTACLE |
| ELEV | ELEVATION | RECT | RECTANGULAR |
| ELEC | ELECTRICAL | RELOC | RELOCATED |
| ENCL | ENCLOSURE | REQD | REQUIRED |
| ENGR | ENGINEER | REP | REPRESENTATIVE |
| EQ | EQUAL | RESIL | RESILIENT |
| EQUIP | EQUIPMENT | REV | REVISION |
| ETC | AND SO FORTH | RH | RIGHT HAND |
| EWC | ELECTRIC WATER COOLER | RM | ROOM |
| | | RND | ROUND |
| | | RO | ROUGH OPENING |
| | | RTN | RETURN |
| EXH | EXHAUST | SC | SOLID CORE |
| EXTG | EXISTING | SCHED | SCHEDULE |
| EXP | EXPOSED | SECT | SECTION |
| EXT | EXTERIOR | SEQ | SEQUENCE |
| FD | FLOOR DRAIN | SF | SQUARE FEET |
| FE | FIRE EXTINGUISHER | SGL | SINGLE |
| FEC | FIRE EXTINGUISHER CABINET | SH | SHEET |
| FED | FEDERAL | SIM | SIMILAR |
| FF | FINISHED FLOOR | SPEC | SPECIFICATION |
| FV | FIELD VERIFY | SO | SQUARE |
| FHC | FIRE HOSE CABINET | SS | STAINLESS STEEL |
| FL | FLOW LINE | STD | STANDARD |
| FLR | FLOOR | STL | STEEL |
| FRPF | FIREPROOF | STOR | STORAGE |
| FR | FRAME | STRUCT | STRUCTURAL |
| FTG | FOOTING | SURF | SURFACE |
| FURR | FURRING | SUSP | SUSPENDED |
| FW | FIRE WALL | | |
| FXTR | FIXTURE | TECH | TECHNICAL |
| | | TELE | TELEPHONE |
| GA | GAUGE | THK | THICK (NESS) |
| GALV | GALVANIZED | THRU | THROUGH |
| GEN | GENERAL | TYP | TYPICAL |
| GFE | GOVERNMENT FURNISHED EQUIPMENT | | |
| GFM | GOVERNMENT FURNISHED MATERIAL | UNFIN | UNFINISHED |
| | | UNO | UNLESS NOTED OTHERWISE |
| GL | GLASS | | |
| GOVT | GOVERNMENT | VENT | VENTILATE |
| GRL | GRILLE | VERT | VERTICAL |
| GYP | GYPSUM | VCT | VINYL COMPOSITION TILE |
| GYP BD | GYPSUM BOARD | | |
| GC | GENERAL CONTRACTOR | VET | VINYL ENHANCED TILE |
| | | VOL | VOLUME |
| HDWR | HARDWARE | VVC | VINYL WALLCOVERING |
| HM | HOLLOW METAL | | |
| HORIZ | HORIZONTAL | WD | WOOD |
| HT | HEIGHT | WH | WATER HEATER |
| HTR | HEATER | WHSE | WAREHOUSE |
| HWD | HARDWOOD | WP | WATERPROOF |
| HVAC | HEATING, VENTILATING AND AIR CONDITIONING | W | WITH |
| | | W/O | WITHOUT |
| HW | HOT WATER | WT | WEIGHT |
| HWH | HOT WATER HEATER | | |
| ID | INSIDE DIAMETER | YD | YARD |
| INSUL | INSULATION | | |
| INTR | INTERIOR | | |
| JAN | JANITOR | | |
| JT | JOINT | | |

DRAWING SYMBOL LEGEND



GENERAL DEMOLITION NOTES

1. ANY ITEM WHICH IS DESIGNATED TO REMAIN AND IS LOST OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
2. PROMPTLY REPAIR ADJACENT SURFACES DAMAGED BY DEMOLITION OPERATIONS.
3. REMOVE DEMOLISHED MATERIALS AND DEBRIS FROM THE SITE IN A MANNER APPROVED BY THE PROJECT MANAGER. TRANSPORT AND LEGALLY DISPOSE OFF MATERIALS AT AN APPROVED OFF SITE LOCATION.
4. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE SITE CLEAN.
5. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

EXISTING MATERIALS NOTES

1. EXISTING ROOFING MATERIAL IS WOOD SHINGLES INSTALLED ON SPACED WOOD SHEATHING. ROOF SUPPORT ON THE PORTION OF THE BUILDING DATING FROM 1934 COULD NOT BE VERIFIED.
2. FLASHING IS GALVANIZED SHEET METAL. EXISTING TRIM AND GUTTERS ARE PRE-FINISHED ALUMINUM.
3. EXISTING WALL CLADDING IS WOOD SIDING.

EXISTING CONDITIONS

1. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, SLOPES, AREAS, AND CONDITIONS. DIMENSIONS AND AREAS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
2. DRAWINGS IN THIS SET ARE NOT TO BE CONSIDERED MEASURED DRAWINGS OF AS-CONSTRUCTED CONDITIONS.
3. FIELD MEASUREMENTS WILL BE REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL OBTAIN ALL FIELD MEASUREMENTS AS NECESSARY TO FABRICATE ITEMS OF WORK AND TO COMPLETE THE WORK DEPICTED IN THE CONSTRUCTION DOCUMENTS.
4. IF CONDITIONS ARE ENCOUNTERED WHICH DIFFER FROM CONDITIONS SHOWN OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, TO INCLUDE BUT NOT BE LIMITED TO DETERIORATED MATERIALS, OR DIFFERENT CONCEALED MATERIALS, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND SHALL NOT PROCEED WITH ADDITIONAL WORK WITHOUT WRITTEN AUTHORIZATION.

PROPOSED MATERIALS NOTES

HEADQUARTERS BUILDING

1. NEW ROOFING MATERIAL SHALL BE COMPOSITION ASPHALT ROOF.
2. UNDERLAYMENT SHALL BE FELT, ASTM D226, TYPE II.
3. NEW FLASHING SHALL BE PREFINISHED ALUMINUM.
4. NEW ROOFING SYSTEM SHALL BE CAPABLE OF RESISTING WIND SPEED OF 106 Vmph per ASCE 7, RISK CATEGORY II.
5. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SUBMITTALS TABLE

REQUIRED SUBMITTALS PRIOR TO INSTALLATION

| MATERIAL/ PRODUCT | MANUF'S PRODUCT INFO | INSTALLATION INSTRUCTIONS | SAFETY DATA SHEETS | SAMPLE | LEGIBLE PHOTO OF THE MATERIAL | SHOP DRAWINGS | MANUF'S SAMPLE WARRANTY | OTHER/NOTES |
|-----------------------|----------------------|---------------------------|--------------------|--------|-------------------------------|---------------|-------------------------|---|
| ROOF DECKING | ● | ● | ● | | | | | |
| FLASHINGS | ● | ● | | | | ● | | |
| ROOFING ACCESSORIES | ● | ● | | | | ● | ● | |
| COMPOSITION SHINGLES | ● | ● | ● | ● | | | ● | PROVIDE SAMPLES TO CONSTRUCTION MANAGER FOR APPROVAL. |
| SHINGLES UNDERLAYMENT | ● | ● | ● | | | | | |
| ROOF FASTENERS | ● | ● | | | | | | |
| LVL WOOD HEADER | ● | ● | | | | ● | | |
| STRUCTURE FASTENERS | ● | ● | | | | | | |
| LUMBER (STRONG BACK) | ● | ● | | | | | | |
| CAULKS | ● | ● | | | | | | |
| ADHESIVES | ● | ● | | | | | | |

SUBMITTAL NOTES:

1. SUBMIT WITH SIGNED TPWD SUBMITTAL COVERSHEET.
2. SUBMIT EITHER INDIVIDUAL SUBMITTALS PER EACH ITEM, OR A COMBINED SUBMITTAL PER EACH LINE ITEM.
3. A SUBMITTAL IS REQUIRED PER EACH ITEM NOTED. IF CONTRACTOR HAS DIFFICULTY OBTAINING INFORMATION FOR AN ITEM, PLEASE NOTIFY ARCHITECT.

TEXAS
PARKS &
WILDLIFE



PDG
ARCHITECTS

BIG SPRING STATE PARK
RESIDENCE ROOF REPLACEMENT
PROJECT NUMBER: EH10338

DATE: 12-9-2019
DESIGN BY: JWB
DRAWN BY: HF/RZ
REVIEW BY: JWB
REVISED:

REVISED:

REVISED:

SHEET TITLE
ABBREVIATIONS,
NOTES &
SUBMITTALS

SHEET NUMBER

A0



J VENT

EXISTING VENT TO EXHAUST KITCHEN STOVE TO REMAIN.



H VIEW AT VALLEY

REMOVE ROCK FROM THE ROOF
PROVIDE NEW METAL SLEEVE FLASHING AT EXISTING PENETRATIONS



G ROOF VIEW AT EXISTING UTILITY DROP

EXISTING MAST FOR UTILITY DROP TO REMAIN. PROVIDE NEW METAL SLEEVE FLASHING.



F ROOF VIEW AT FLUE

EXISTING FLUE THRU ROOF TO BE REMOVED AND REPLACED.



E ROOF VIEW AT EAVE AND RAKE

PROVIDE NEW 1" TYPE RAKE EDGE METAL FLASHING
PROVIDE NEW 6" GUTTER AND 4"x4" DOWNSPOUT.



D WEST VIEW OF RESIDENCE



C SOUTH VIEW OF RESIDENCE



B EAST VIEW OF RESIDENCE



A NORTH VIEW OF RESIDENCE

SCALE:
N.T.S.

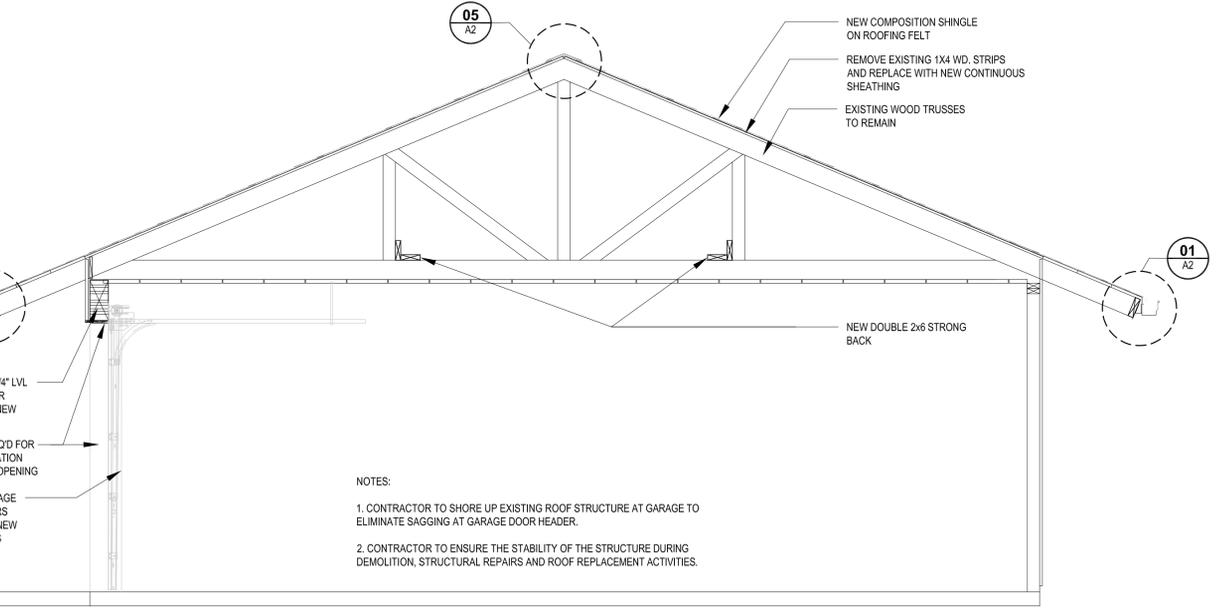
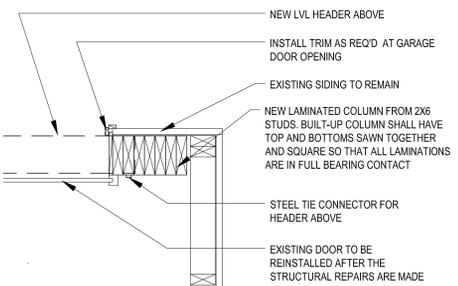
HEADQUARTERS
PHOTOS 05

SCALE:
N.T.S.

NOT USED 04

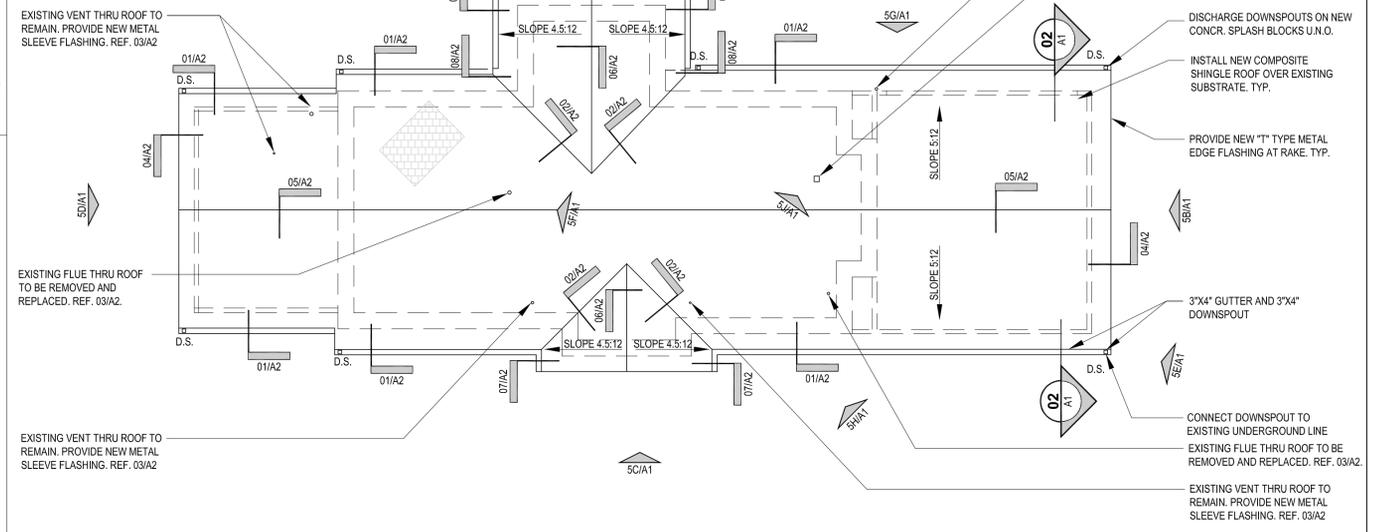
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1" = 1'-0"

GARAGE DOOR
JAMB DETAIL 03



SCALE: 2'-0"
1/2" = 1'-0"

SECTION AT GARAGE 02

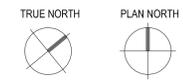


APPROXIMATE ROOF AREAS (SQ. FT.)

| ROOF NAME | PLAN AREA |
|-------------------|-----------|
| COMPOSITE SHINGLE | 2,421 |

NOTES:

- CONTRACTOR TO REMOVE EXISTING WOOD SHINGLES ROOFING AND SUPPORTING 1x4 SPACED STRIPS.
- CONTRACTOR TO INSPECT EXISTING ROOF SUPPORT STRUCTURE AND SUBSTRATE AND NOTIFY ARCHITECT OF ANY DAMAGE BEFORE PROCEEDING WITH ROOF INSTALLATION.
- CONTRACTOR TO PROVIDE NEW ROOF SHEATHING, UNDERLAYMENT AND ROOFING PER N.R.C.A. DETAILS AND ARCHITECTURAL SPECIFICATIONS



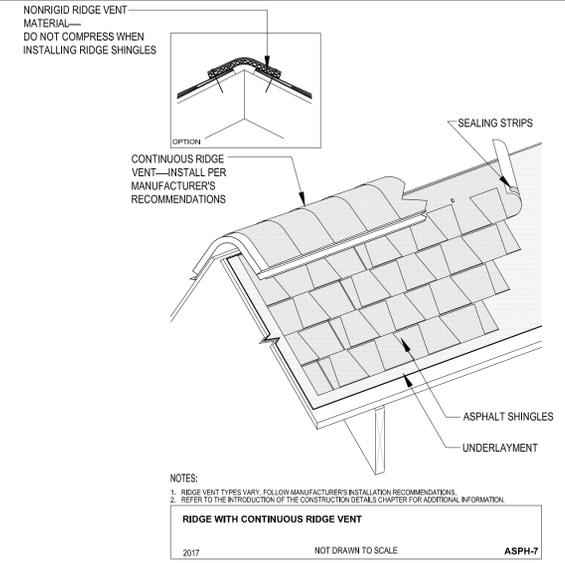
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1/8" = 1'-0"

RESIDENCE
ROOF PLAN 01

NOTES:
1. DETAILS ARE FROM NATIONAL ROOFING CONTRACTOR'S ASSOCIATION U.N.O.
2. FOLLOW INSTALLATION DETAILS AND GUIDELINES FROM ROOFING PRODUCT MANUFACTURER.
3. IF DETAILS DO NOT EXIST FOR A PARTICULAR SITUATION, CONTACT ARCHITECT BEFORE PROCEEDING.

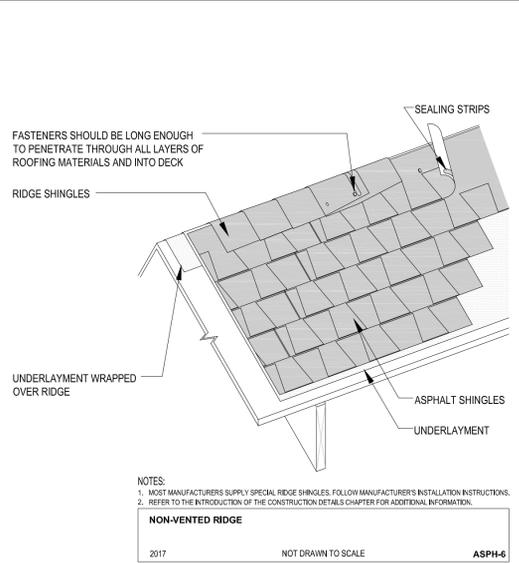
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N.T.S.

NOT USED 09



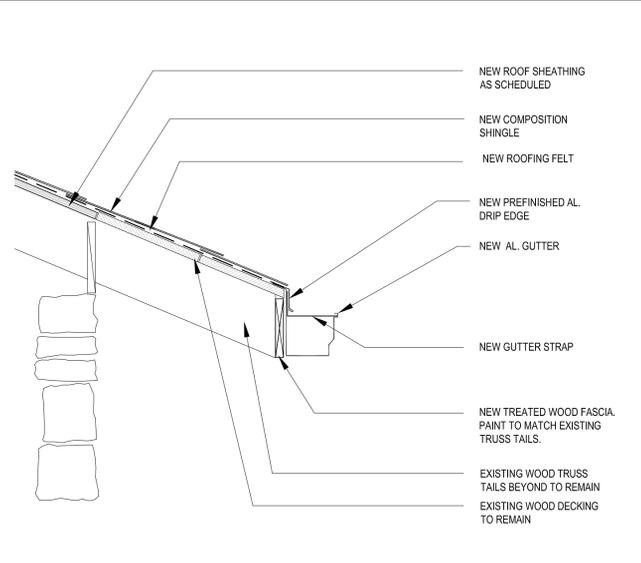
SCALE:
N.T.S.

NRCA 05
VENTED RIDGE DETAIL



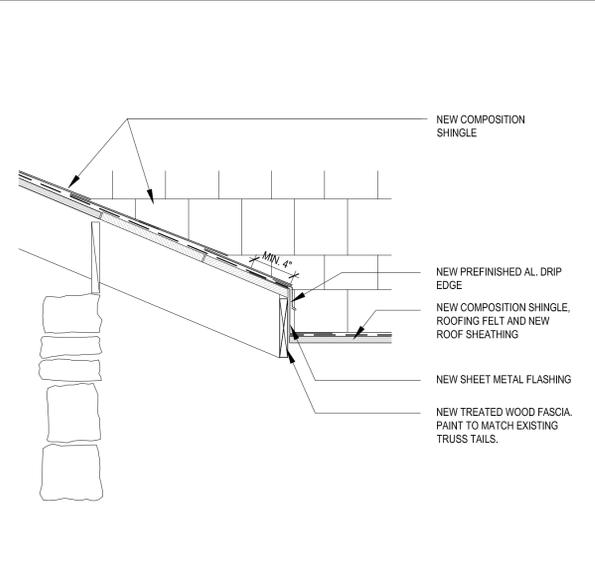
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N.T.S.

NRCA 06
NON VENTED RIDGE DETAIL



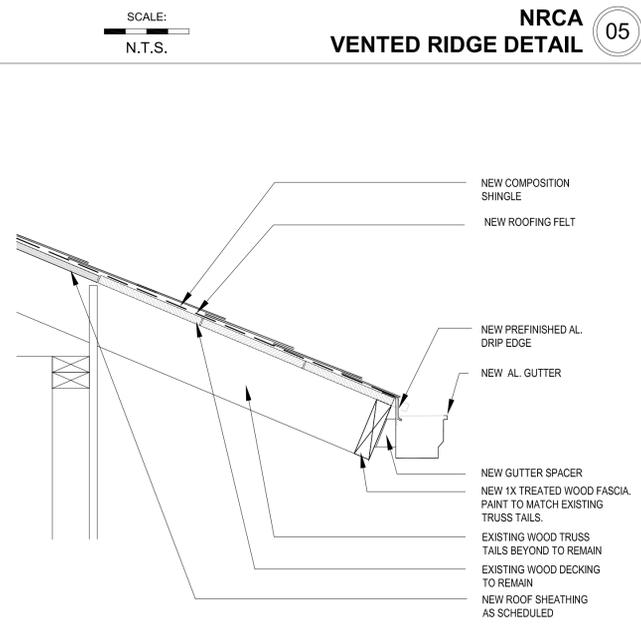
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1-1/2" = 1'-0"

07
EAVE WITH GUTTER DETAIL



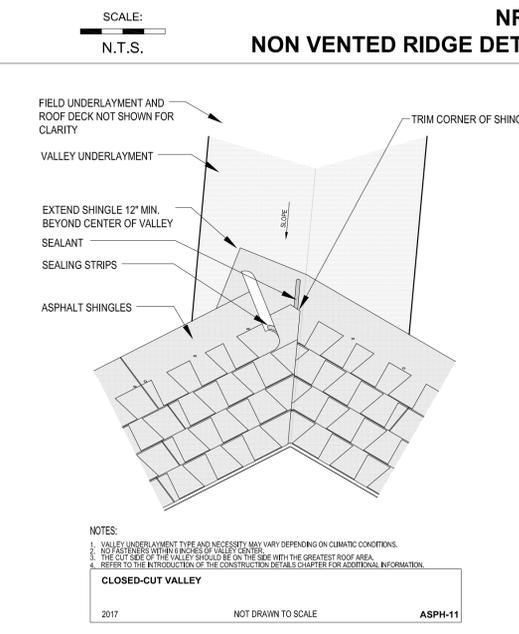
SCALE:
1-1/2" = 1'-0"

08
FLASHING AT EAVE TRANSITION



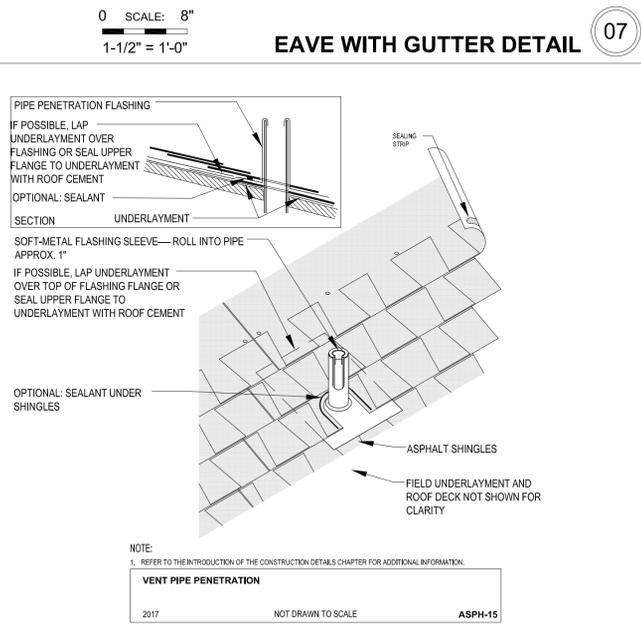
SCALE:
1-1/2" = 1'-0"

01
EAVE WITH GUTTER DETAIL



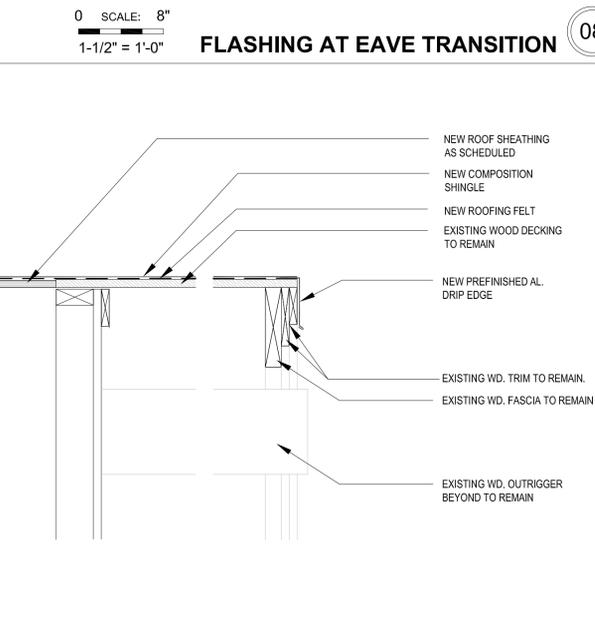
SCALE:
N.T.S.

NRCA 02
VALLEY DETAIL



SCALE:
N.T.S.

NRCA 03
PENETRATION DETAIL



SCALE:
1-1/2" = 1'-0"

04
RAKE DETAIL